

*****Public Meeting Notice*****

Washington Parish Library Board of Control

Thursday, March 19, 2026 - 5:30pm

Franklinton Branch

825 Free St. Franklinton, La

Meeting Agenda

- I. Call to order by President and Roll Call by Director
- II. Invocation
- III. Pledge of Allegiance
- IV. Approval of Agenda
 - A. Discussion
 - B. Public Comment
 - C. Vote
- V. Approval of Minutes from Thursday, February 5, 2026
 - A. Discussion
 - B. Public Comment
 - C. Vote
- VI. New Business
 - A. Helicopter Flight Path Request for Angel's Campus (Jessie Babcock)
 1. Discussion
 2. Public Comment
 3. Vote *(if necessary)*
 - B. Ad Hoc Buildings Committee (LBOC)
 1. Discussion
 2. Public Comment
 3. Appointed by President
 - C. Presentation of Policies/Board Procedures
 1. Patron Complaint and Grievance Policy
 - a) Discussion
 - b) Public Comment

2. Grievance Procedures
 - a) Discussion
 - b) Public Comment
3. Employee Discipline and Corrective Action Policy
 - a) Discussion
 - b) Public Comment
4. Staff Conflict Policy
 - a) Discussion
 - b) Public Comment
5. Employee Grievance Policy
 - a) Discussion
 - b) Public Comment
6. Social Media Policy
 - a) Discussion
 - b) Public Comment

VII. Old Business

A. Library Director Evaluation/Review

1. Discussion
2. Public Comment
3. Vote *(if necessary)*

VIII. Director's Report

IX. General Public Comment

X. *Next meeting: Thursday, May 21, 2026 at the Bogalusa Branch*

XI. Adjournment

2026 Meetings

Name	Appointed	1/15	*2/5	3/19	5/21	7/23	8/20	9/17	11/19
Kewanda August	2022	X	P						
Derek Dantin	2025	X	P						
Penny Moses	2022	P	P						
Nathan Pierce, President	2025	V	P						
Emma Ross, Vice President	2001	P	P						
Ryan Seal Parish President	<i>ex-officio</i>	X	P						
J. Perry Talley	2023	V	P						
<i>vacant</i>		-	-						
Sonnet Ireland Secretary		P	P						
Aerial Mathews		P	P						
<i>Tech Team Representative</i>		<i>CB</i>	<i>CB</i>						

P = Present in-person V = Virtually present X = Absent * = Special Meeting

Washington Parish Library
Ad-Hoc Public Meeting
Library Board of Control
Bogalusa Branch
304 Avenue F, Bogalusa, Louisiana 70427
Thursday, February 5, 2026 @ 5:30 p.m.

- I. Call to order by Mr. Nathan Pierce at 5:32pm.
- II. Roll Call by the Assistant Director, Ms. Aerial Mathews
Board Members Present: Ms. Kewanda August, Mr. Derek Dantin, Ms. Emma Ross, Ms. Penny Moses, Mr. Nathan Pierce, Mr. Perry Talley, and President Ryan Seal.
- III. Invocation by Mr. Derek Dantin.
- IV. Pledge of Allegiance led by Ms. Penny Moses.
- V. Approval of Minutes from Thursday, January 15, 2026 meeting.
A motion was made by Ms. Penny Moses to approve the minutes from the previous meeting on Thursday, January 15, 2026 at the Bogalusa Branch; seconded by Mrs. Ross.

Mr. Nathan Pierce: Yes	
Ms. Kewanda August: Yes	Ms.Emma Ross: Yes
Mr. Derek Dantin: Yes	Mr. Perry Talley: Yes
Ms. Penny Moses: Yes	President Seal: Yes
	VACANT

Motion passed.

- VI. Old Business
- VII. New Business
 - A. Motion to Enter Executive Session
To consider a motion to enter Executive Session pursuant to La. R. S. 42:17 A(1) for discussion of the character and professional competence of the Library Director, Sonnet Ireland.

A motion was made by Mr. Perry Talley to enter executive session; seconded by Ms. August.
Upon a call for public comment on the motion, Mrs. Ireland invoked her right under La. R.S. 42:17(A)(1) to have the discussion held in open session. As a result, the Board did not enter Executive Session.
- VIII . Discuss and Take Appropriate Action Regarding Employment of Sonnet Ireland.

Mr. Ryan Seal, President of Washington Parish, presented information to the Board regarding concerns related to the professional conduct of the Library Director. The presentation included video recordings, social media posts, written transcripts, and references to applicable parish and library personnel policies. Mr. Seal stated that the matter was brought forward following consultation with other parish administration.

Board members asked questions and engaged in discussion regarding the materials presented, including expectations of professional conduct, application of personnel policies, off-duty conduct, freedom of speech, and potential impacts on the Washington Parish Library System. Several Board members expressed differing perspectives regarding accountability, proportionality of discipline, and whether disciplinary action short of termination should be considered.

Mrs. Ireland was given the opportunity to address the Board. She acknowledged the incident, stated that her actions reflected a lapse in judgment, expressed regret for the situation and its impact, and provided context regarding prior interactions with the individual involved. Mrs. Ireland stated that she did not intend to embarrass the Washington Parish Library or the parish and affirmed her willingness to take responsibility and consider the matter going forward.

A. Public Comment

During the public comment portion of the meeting, several residents expressed their thoughts regarding the recent incident involving the library director. The overall sentiment was supportive of the director, highlighting her positive impact on the library and the community. Residents emphasized that while mistakes were made, they should be viewed as learning opportunities rather than reasons for severe punishment. Many noted the director's dedication, professionalism, and contributions to revitalizing library programs, improving community engagement, and mentoring staff. Speakers were:

- Carol Duke: Emphasized compassion and learning from mistakes, highlighting the director's positive impact on the parish community.
- Debbie McLeod: Shared that initial concerns from other employees were influenced by broader statewide actions against library directors, and expressed concern over outside interference in local library governance.
- Ivy Morris: Asked for clarification on the board's process regarding recommendations for termination, raising questions about transparency and accountability.
- Christy Pierce: Noted personal positive experiences with the library's programming improvements under the director and stressed that this misstep should not overshadow these achievements.

- Rosa Mullises: Advocated for following disciplinary procedures rather than termination, emphasizing structured guidance to correct behavior.
- Jasmine Kent: Highlighted the library's increased engagement with the community in recent years and stressed that the director's contributions far outweigh a single incident.
- Anthony Jones: Suggested that termination is too extreme for a first offense, noting that lesser disciplinary measures are available and commonly used in government roles.
- Tracy Seals: Praised the director's mentorship, encouragement, and positive influence.
- Abigail Kemp (representing Friends of the Library): Highlighted the Friends' financial support and volunteer contributions, underscoring the director's credibility, professionalism, and the library's overall improvement under her leadership.
- Mrs. Alva: Encouraged the board to make a fair decision, trusting their judgment and experience to reach a positive resolution.

Special Note: Due to the ZOOM format of the meeting, online attendees also left messages. Text has been copied verbatim:

- Brooke Eugin: My name is brooke eugin & i was a resident of washington parish for 30 years. i worked for washington parish library for about 3 years. up until i was employed there i was unsure of what i wanted to do in life. working for Sonnet was the best thing that could've happened to me. she is passionate and fights for not only our library, but all libraries which is what should be done. because ALL people deserve the type of library she runs. i had so many people tell me when i ran the franklinton branch that the atmosphere had changed and they loved it. and that is because of Sonnet! it is because of her i will be pursuing a degree in library science. terminating her would be the downfall of the library. I miss you Sonnet & miss working with you!

Following public comment, the Board moved to address disciplinary action for the library director. Several options were discussed, including rescinding a recent pay adjustment, a suspension, or placing the director on probation. After discussion, a motion was made by Mr. Pierce to impose a one-week suspension without pay and a one-year probationary period, during which the director's conduct would be monitored at regular board meetings; seconded by Ms. Moses. The motion passed with a majority vote, with one board member opposing.

Ms. Kewanda August: Yes
Mr. Derek Dantin: Yes
Ms. Penny Moses: Yes

Mr. Nathan Pierce: Yes

Ms.Emma Ross: Yes
Mr. Perry Talley: No
President Seal: Yes
VACANT

Motion passed.

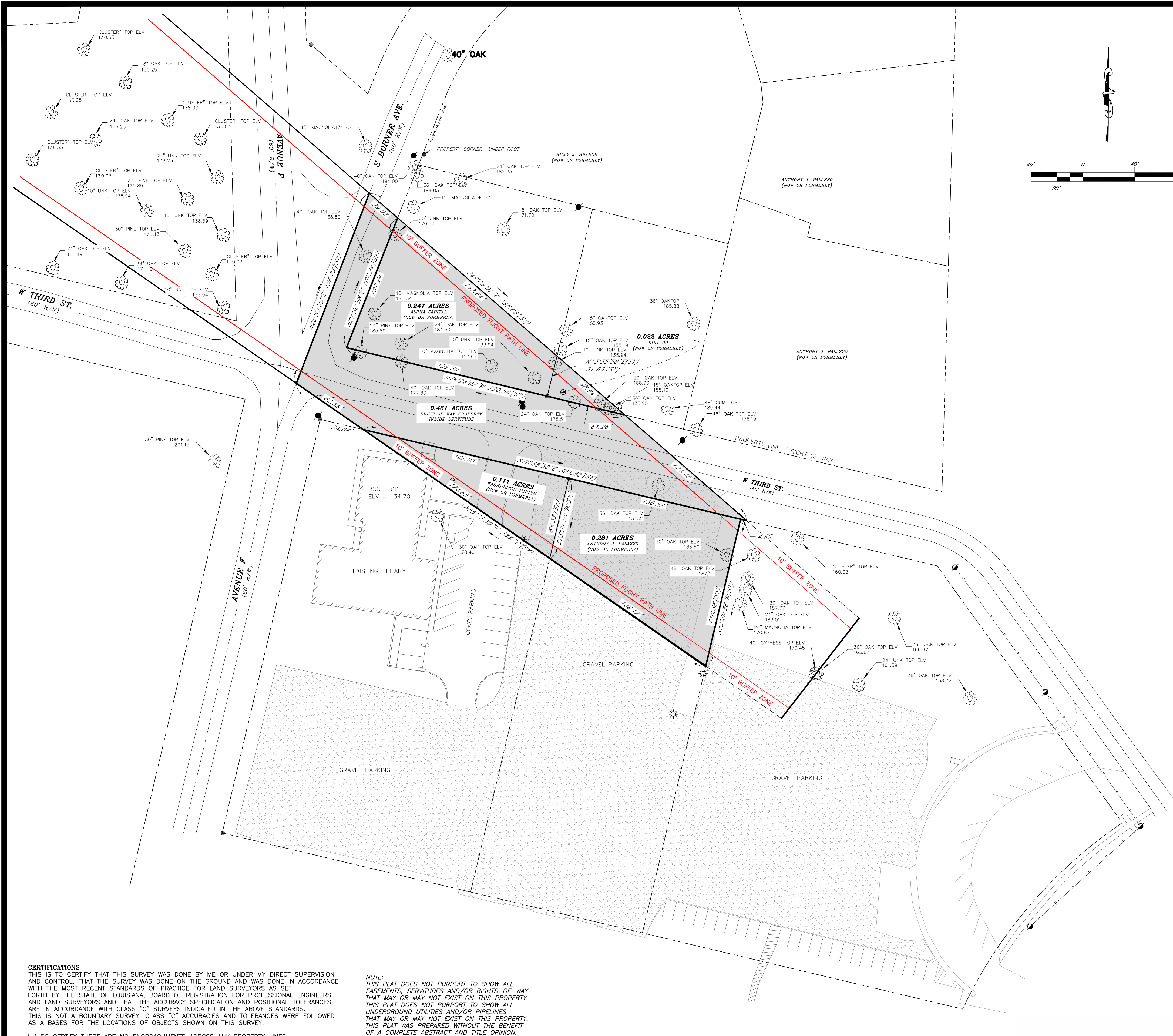
IX. Adjournment

The meeting was adjourned with a unanimous all-in-favor vote.

Motion passed.

Meeting adjourned at 7:10 PM.

DRAFT

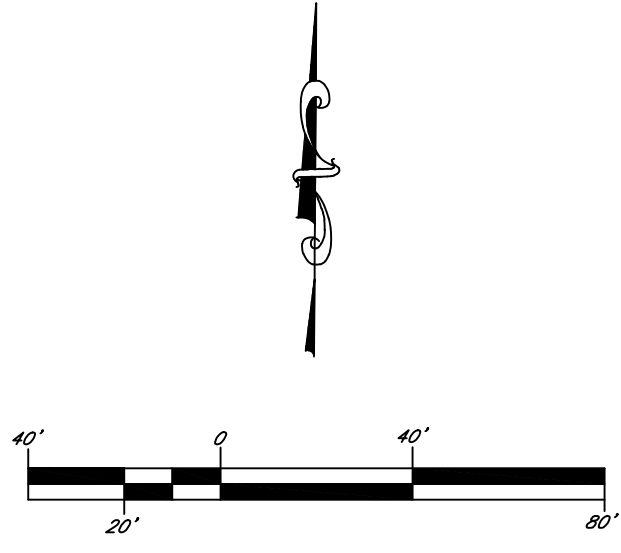


LEGEND

- FOUND PROPERTY CORNER
- EXISTING TREE
- PROPOSED FLIGHT PATH

SURVEY NOTES:

1. HORIZONTAL - COORDINATES BASED ON THE LOUISIANA COORDINATE SYSTEM SOUTH ZONE 1702 NAD83 (USING GPS-CAGNET-RTN SYSTEM)
2. VERTICAL - ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) IN U.S. SURVEY FEET



VICINITY MAP
1" = 2000'

LEGAL DESCRIPTIONS:

WASHINGTON PARISH POLICE JURY (0.118 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO WASHINGTON PARISH POLICE JURY AND BEING A 1.48 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM EASTERN RIGHT OF WAY OF AVENUE F AND THE SOUTHERN RIGHT OF WAY OF W THIRD ST. RUN S76°38'38"E A DISTANCE OF 34.08', TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE.

THENCE CONTINUING ALONG THE SOUTHERN RIGHT OF WAY OF W THIRD ST. S76°38'38"E A DISTANCE OF 162.95', THENCE S13°20'36"W A DISTANCE OF 63.38', THENCE N55°23'30"W A DISTANCE OF 174.85', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.118 ACRES.

ALPHA CAPITAL (0.247 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO ALPHA CAPITAL BEING A 0.51 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE. AND THE NORTHERN RIGHT OF WAY OF W THIRD ST., WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE.

THENCE ALONG THE EASTERN RIGHT OF WAY OF S BORDER ST. N21°30'58"E A DISTANCE OF 107.24', THENCE S49°06'01"E A DISTANCE OF 162.64', THENCE S13°35'58"W A DISTANCE OF 31.63' TO THE NORTHERN RIGHT OF WAY OF W THIRD ST., THENCE CONTINUING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. N76°24'02"W A DISTANCE OF 62.68' TO THE CENTERLINE OF S BORDER AVE., THENCE FOLLOWING THE CENTERLINE OF S BORDER AVE. N20°59'43"E A DISTANCE OF 156.73', THENCE S49°06'01"E A DISTANCE OF 29.02' TO THE WESTERN RIGHT OF WAY OF S BORDER RD., THENCE FOLLOWING ALONG THE EASTERN RIGHT OF WAY OF S BORDER AVE. S21°30'58"W A DISTANCE OF 107.24', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.247 ACRES.

KIET DO (0.022 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO KIET DO BEING A 0.36 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE. AND THE NORTHERN RIGHT OF WAY OF W THIRD ST. AND FOLLOWING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. S76°24'02"E A DISTANCE OF 159.30', TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE.

THENCE N13°35'58"E A DISTANCE OF 31.63', THENCE S49°06'01"E A DISTANCE OF 68.94' TO THE NORTHERN RIGHT OF WAY OF W THIRD ST., THENCE CONTINUING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. N76°24'02"W A DISTANCE OF 61.26', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.022 ACRES.

LEGAL DESCRIPTIONS:

ANTHONY J. PALAZZO (0.281 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO ANTHONY J. PALAZZO, BEING A 1.05 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM EASTERN RIGHT OF WAY OF AVENUE F AND THE SOUTHERN RIGHT OF WAY OF W THIRD ST. RUN S76°38'38"E A DISTANCE OF 197.03', TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE.

THENCE CONTINUING ALONG THE SOUTHERN RIGHT OF WAY OF W THIRD ST. S76°38'38"E A DISTANCE OF 136.22', THENCE S13°20'36"W A DISTANCE OF 116.36', THENCE N55°23'30"W A DISTANCE OF 146.17', THENCE N13°21'00"E A DISTANCE OF 63.38', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.281 ACRES.

W THIRD ST. AND S BORDER AVE. RIGHT OF WAY

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF THE RIGHT OF WAY FOR W THIRD ST. AND S BORDER AVE. SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE. AND THE NORTHERN RIGHT OF WAY OF W THIRD ST., WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE.

THENCE FOLLOWING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. N76°24'02"E A DISTANCE OF 220.56', THENCE S49°06'01"E A DISTANCE OF 124.45' TO THE SOUTHERN RIGHT OF WAY OF W THIRD ST., THENCE FOLLOWING ALONG THE SOUTHERN RIGHT OF WAY OF W THIRD ST. N76°38'38"W A DISTANCE OF 303.82', THENCE N55°23'30"W A DISTANCE OF 62.68' TO THE CENTERLINE OF S BORDER AVE., THENCE FOLLOWING THE CENTERLINE OF S BORDER AVE. N20°59'43"E A DISTANCE OF 156.73', THENCE S49°06'01"E A DISTANCE OF 29.02' TO THE WESTERN RIGHT OF WAY OF S BORDER RD., THENCE FOLLOWING ALONG THE EASTERN RIGHT OF WAY OF S BORDER AVE. S21°30'58"W A DISTANCE OF 107.24', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.461 ACRES.

CERTIFICATIONS
THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH CLASS "C" SURVEYS INDICATED IN THE ABOVE STANDARDS. THIS IS NOT A BOUNDARY SURVEY, CLASS "C" ACCURACIES AND TOLERANCES WERE FOLLOWED AS A BASES FOR THE LOCATIONS OF OBJECTS SHOWN ON THIS SURVEY.

I ALSO CERTIFY THERE ARE NO ENCROACHMENTS ACROSS ANY PROPERTY LINES EXCEPT AS SHOWN

NOTE:
THIS PLAT DOES NOT PURPORT TO SHOW ALL EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES AND/OR PIPELINES THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE ABSTRACT AND TITLE OPINION.

PROJECT NO: 24-293
DIRECTORY: PROJECTS / 2024
FILE: 24-293 OLOA TREE SURVEY
FIELD BOOK & PAGES: FB-105 / PG-XX

STAMP

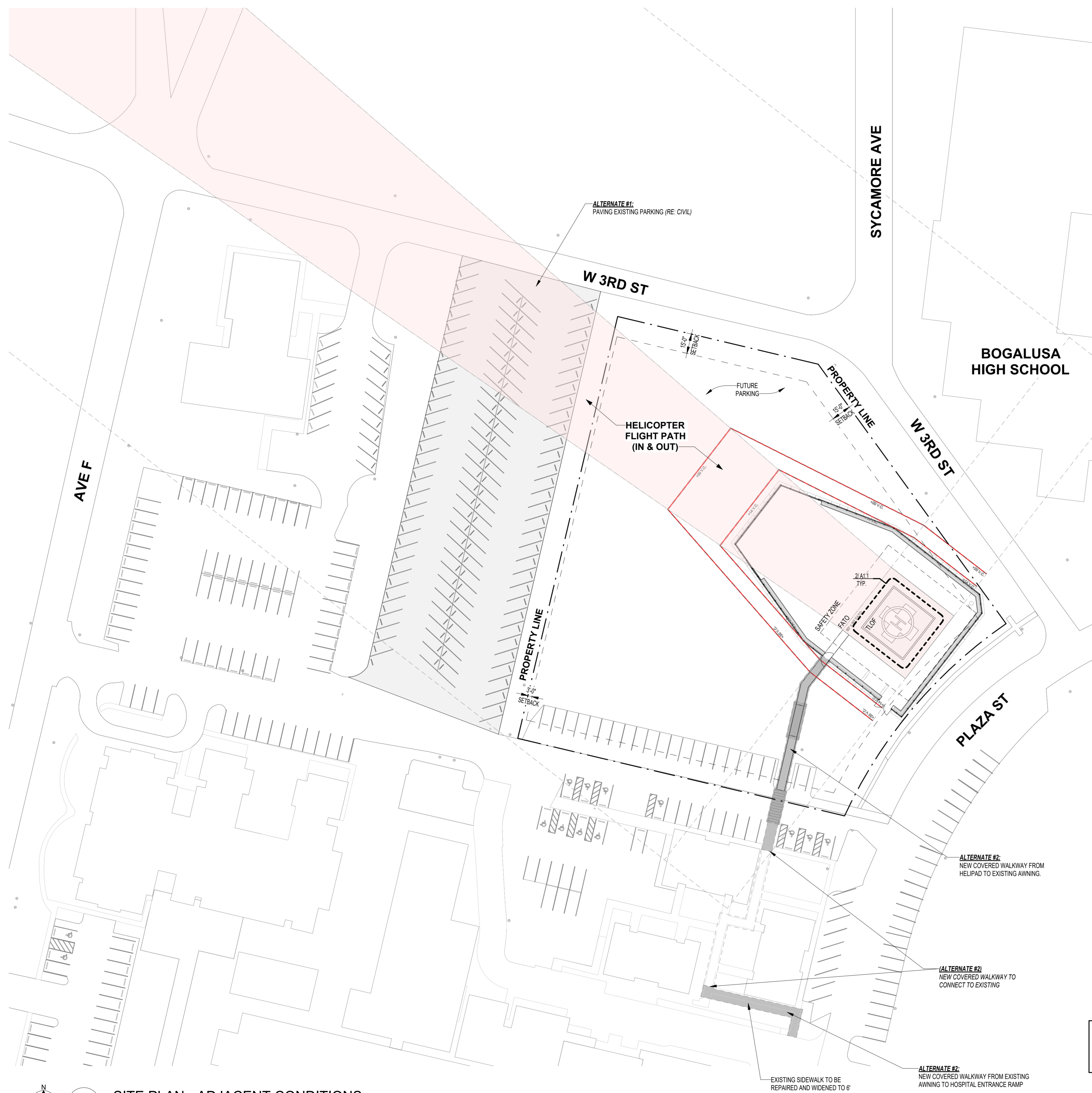
SIGNATURE: *Henry E. Schwartz IV*

DATE: 10/08/2025

DATE	REVISION	BY

HIGH TIDE CONSULTANTS LLC
700 CANAL BOULEVARD
THIBODAUX, LA 70301
www.hightidela.com

TOPO SURVEY SHOWING TREE LOCATIONS AND PORTIONS OF PROPERTIES WITHIN A PROPOSED FLIGHT PATH FOR A PROPOSED HELIPAD SITE AT OUR LADY OF THE ANGELS HOSPITAL OF BOGALUSA LOCATED IN SEC. 38, T3S-R13E WASHINGTON PARISH, LOUISIANA



GENERAL SITE PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FOR NEW AND/OR EXISTING WORK AT THE SITE PRIOR TO COMMENCING WORK. REPORT ANY CONDITIONS OR DISCREPANCIES NOT DOCUMENTED ON THESE DRAWINGS TO THE ARCHITECT AND OWNER PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING CONSTRUCTION.
- CONTRACTOR TO PROTECT ANY AND ALL EXISTING STRUCTURES ADJACENT TO THE SITE FROM DAMAGES AND EROSION. ANY ADJACENT IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL, AT A MINIMUM, BE RESTORED TO A STATE EQUAL TO ITS PRECONSTRUCTION STATE AT THE EXPENSE OF CONTRACTOR.
- CONTRACTOR TO LOCATE EXISTING UTILITIES BEFORE EXCAVATING. VERIFY EXACT LOCATIONS OF ALL PUBLIC RIGHT OF WAYS, PROPERTY LINES, EASEMENTS, SETBACKS AND UTILITIES PRIOR TO ANY WORK.
- CONTRACTOR TO REPAIR AND/OR REPLACE ANY DAMAGED AREAS DURING CONSTRUCTION TO MEET OR EXCEED THE EXISTING CONDITIONS.
- ALL BUILDING DIMENSIONS ARE TO EXTERIOR FACE OF STUD, FACE OF MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE DUST CONTROL DURING EXCAVATION, DURING CONSTRUCTION, AND WHEN COMPLETING WORK.
- CONTRACTOR TO PROTECT EXISTING OVERHEAD UTILITY LINES AND POWER POLES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN, ALL EXISTING UTILITIES NOT SHOWN, AND ALL PROPOSED UTILITIES ON THE CONSTRUCTION DOCUMENTS.
- SLOPE ALL TOPOGRAPHY AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- ALL EQUIPMENT SHOWN IS IN CLOSE PROXIMITY, SIZE, TYPE, AND LOCATION. THE CONTRACTOR MUST VERIFY EXISTING CONDITIONS TO CONFIRM THE ACTUAL SIZE, TYPE, AND LOCATION OF EQUIPMENT. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER CONSULTANTS FOR PROVIDING UTILITIES TO NEW.
- CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
- CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND LOCAL UTILITY COMPANY FOR THE NEW CONNECTION OF THE SITE UTILITY AND THE NEW BUILDING UTILITY. CONTRACTOR TO VERIFY LOCATION, CONTRACTOR TO COORDINATE AND ESTABLISH FOUNDATION WALL HEIGHTS, FOOTING ELEVATIONS, AND ALL FINISH FLOOR ELEVATIONS IN RELATION TO FINAL GRADING ELEVATION. DESIGN ELEMENTS RELATING TO FINAL GRADING SUGGESTED ON THESE DRAWINGS AND THROUGHOUT THE CONTRACT DOCUMENTS ARE FOR COORDINATION PURPOSES ONLY AND DO NOT REFLECT REQUIREMENTS OF FINAL GRADING AS ESTABLISHED IN THE FIELD BY CONTRACTOR.
- ALL WOOD CONSTRUCTION MATERIALS SHALL BE A MINIMUM OF 8" ABOVE FINAL GRADING. COORDINATE TOP OF WALL ELEVATIONS AS REQUIRED.
- CONCRETE AND ASPHALT FLATWORK, RETAINING WALLS, AND OTHER LANDSCAPE ELEMENTS SHOWN INDICATE GENERAL SCOPE OF WORK ONLY. CONTRACTORS TO ESTABLISH AND REVIEW FINAL DESIGN ELEMENTS AND LAYOUT WITH OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE AND INSTALL DETECTABLE WARNINGS IN ACCORDANCE WITH ADAAG R305 ALONG SIDEWALKS DUE TO THE HAZARDOUS VEHICLE TRAFFIC POSE TO PEDESTRIANS WITH VISION IMPAIRMENTS. DETECTABLE WARNINGS ARE REQUIRED AT BUT NOT LIMITED TO, CURB RAMP AND BLENDED TRANSITIONS AT STREET CROSSINGS, CUT-THROUGH PEDESTRIAN REFUGE ISLANDS (EXCLUDING THOSE LESS THAN SIX FEET WIDE, PEDESTRIAN AT-GRADE RAIL CROSSINGS, EDGES OF BOARDING PLATFORMS NOT PROTECTED BY SCREENS OR GUARDS, AND BOARDING AND ALIGHTING AREAS OF SIDEWALK OR STREET LEVEL RAIL VEHICLE STOPS NOT PROTECTED BY SCREENS OR GUARDS ON THE SIDE FACING RAIL VEHICLES. DETECTABLE WARNING SURFACES TO BE AT LEAST TWO FEET DEEP IN THE DIRECTION OF PEDESTRIAN TRAVEL.

ZONING REGULATIONS

PER THE CITY OF BOGALUSA CODE, UPDATED SEPT. 2018
CHAPTER 21, ARTICLE III, SECTION 83

SITE PROPERTY IS ZONED INSTITUTIONAL PER THE
2025 WASHINGTON PARISH ASSESSMENT LISTING

BULK AREA REQUIREMENTS	REQUIRED
LOT AREA (MIN)	3,600 SF
LOT WIDTH (MIN)	30'
FRONT YARD - BUILDING SETBACK	15'
REAR YARD - BUILDING SETBACK	15'
SIDE YARD - BUILDING SETBACK	3'

NOTES: PER THE CITY OF BOGALUSA CODE (UPDATED SEPT. 2018), ALL BUSINESS, COMMERCE, AND INDUSTRIAL ZONES FOLLOW ZONE A-3 RESIDENTIAL SETBACKS AND LOT SIZES

A NEW HELIPAD FOR

OUR LADY OF THE ANGELS HOSPITAL

433 PLAZA ST,
BOGALUSA, LA 70427

GA PROJECT NO. 23-50

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
THESE DRAWINGS ARE SUBJECT TO
REVISION, ALTERATION & DELETION.

REVISION NO.	DATE	REMARKS

CONSTRUCTION DOC

DATE	08/28/2025
DRAWN BY	LOW
CHECKED BY	KLS

SITE PLAN - ADJACENT
CONDITIONS

A1.1

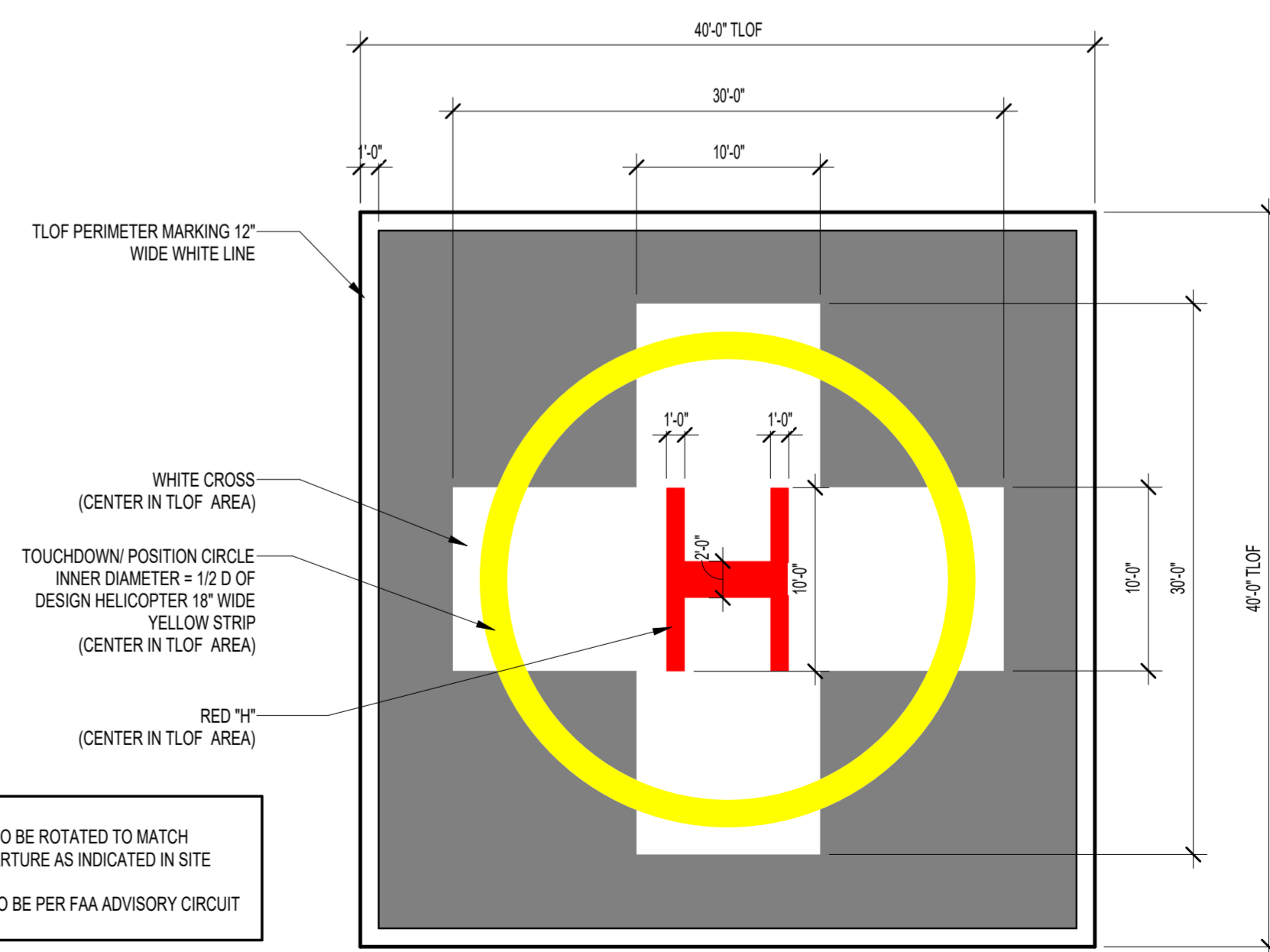
1 SITE PLAN - ADJACENT CONDITIONS
SCALE: 1" = 40'-0"



- NOTES:**
- HELIPAD WILL NEED TO BE ROTATED TO MATCH APPROACH AND DEPARTURE AS INDICATED IN SITE PLAN.
 - ALL MARKINGS ARE TO BE PER FAA ADVISORY CIRCUIT 150/5390-2D

2 HELIPAD MARKINGS

SCALE: 1/8" = 1'-0"



DRAFT 11.4.2025

ACT OF PREDIAL AVIGATION SERVITUDE *

* UNITED STATES OF AMERICA
*
* STATE OF LOUISIANA
*
* PARISH OF WASHINGTON
*

BE IT KNOWN, that on the dates set forth below, before the undersigned Notary Publics, duly commissioned and qualified in and for the State and Parish(es) set forth below, and in the presence of the undersigned competent witnesses, personally came and appeared:

Anthony J. Palazzo (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with his separate property.

Jude Palazzo (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with his separate property.

Mark Palazzo (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with his separate property.

Paul Palazzo (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with his separate property.

Carly Palazzo (SSN:XXX-XX-_____), who declared that she is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with her separate property.

Leo Palazzo (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, whose present mailing address is _____, dealing herein with his separate property.

Kiet Do (SSN:XXX-XX-_____) and Kristy Chiang Do (SSN:XXX-XX-_____), both persons of the full age of majority and residents of the Parish of St. Tammany, who declared that they are married and are presently living and residing together, and whose present mailing address is 24503 Sanders Road, Covington, LA 70435.

Alpha Capital (EIN:XX-XXX_____), a Nebraska partnership, represented herein by _____, its _____, with a present mailing address of 405 N. 115th Street, Suite 100, Omaha, NE 68154.

Midwest Management (EIN:XX-XXX_____), a Nebraska partnership, represented herein by _____, its _____, with a present mailing address of 405 N. 115th Street, Suite 100, Omaha, NE 68154.

Jerry Donald Hall, Jr. (SSN:XXX-XX-_____), who declared that he is a resident of the full age of majority of the Parish of Washington, married to Anna Cargill Hall but dealing herein with his separate property, whose present mailing address is 803 Pardue Street, Bogalusa, LA 70427.

Ruthie Lee Leming (SSN:XXX-XX-_____), who declared that she is a resident of the full age of majority of the Parish of Washington, whose present mailing address is 246 S. Border Street, Bogalusa, LA 70427.

Washington Parish Government, a political subdivision of the State of Louisiana, represented herein by Ryan B. Seal, President, duly authorized pursuant to Ordinance No. _____, dated _____, a copy of which is attached hereto, with a mailing address of 909 Pearl Street, Franklinton, LA 70438.

DRAFT 11.4.2025

City of Bogalusa, a political subdivision of the State of Louisiana, represented herein by Mayor Tyrin Z. Truong, duly authorized pursuant to Ordinance No. _____, dated _____, a copy of which is attached hereto, with a mailing address of 202 Arkansas Street, Bogalusa, LA 70427. **(the above parties are collectively referred to as “Grantors”)**

AND

Our Lady of the Angels Hospital, Inc. (EIN:XX-XXX_____), a Louisiana corporation represented herein by Charles L. Spicer, Jr., its president and duly authorized representative, pursuant to a resolution of the board of directors of Our Lady of the Angels Hospital, Inc., attached hereto and recorded herewith, with a present mailing address is 4200 Essen Lane, Baton Rouge, LA 70809 **(“Grantee”)**

The parties appearing herein, after having been duly sworn, declared as follows:

Grantors are the owners of certain immovable property located in Washington Parish and more particularly described in the attached **Exhibit A**. These properties are collectively referred to as the **“Servient Estate”**. Grantee is the owner of certain immovable property located in Washington Parish and more particularly described in the attached **Exhibit B**. These properties are collectively referred to as the **“Dominant Estate”**.

Grantee is constructing a new heliport/helipad on the Dominant Estate to service its hospital and healthcare operations in and around the Dominant Estate. As the owners of the properties, Grantor and Grantee hereby establish a predial servitude relationship between the Servient Estate and the Dominant Estate pursuant to Louisiana Civil Code article 706 to provide unobstructed access to the Grantee to safely operate aircraft over and around the Servient Estate.

For lawful cause and good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged and agreed, Grantors, for themselves, their heirs, administrators, executors, successors, and assigns do hereby grant the following specific rights and benefits, and such additional rights and benefits as may be ancillary thereto, to Grantee over the servitude area of the Servient Estate, which servitude area is highlighted and outlined in the attached survey and labeled as **“Proposed Flight Path Line”** and **“10’ Buffer Zone”** (the **“Servitude Area”**) on a survey by Henry E. Schwartz, PLS, dated October 8, 2025, a copy of which is attached hereto as **Exhibit C**:

1. The right to enter Grantors’ property to completely remove, at Grantee’s expense, existing trees in the Servitude Area. Grantee shall further have the right to access Grantors’ property and trim any trees outside the Servitude Area to the extent their branches or trunks extend into the Servitude Area. Grantee shall remove all tree trunks, branches, and debris, and will grind stumps and fill with backfill, as needed. Grantee shall also repair any damage to lawns, landscaping, or other property of Grantors caused by the removal of trees. This work will be performed by Grantee and/or its licensed and insured third party contractors, all of whom are granted access to the Grantors’ property. Grantee and/or its third party contractors will schedule such work so as to avoid inconvenience to the Grantors, and Grantors agree to cooperate in this effort.
2. The unobstructed use and passage of all types of aircraft in and through the airspace at any height or altitude above the surface of the Servitude Area, together with the right to cause in and around said air space such noise, vibration, odor or visual, fumes, deposits of dust and fuel particles (incidental to the operation of aircraft), and all other effects that may be caused by the operation of aircraft landing at, taking off from, or operating at, around, or on the Dominant Estate. Grantors hereby waive, remiss, and release any right or cause of action that he/she now has or may have in the future against Grantee, its successors, and assigns due to such noise, vibration, odor or visual, fumes, deposits of dust and fuel particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, or operating at, around, or on the Dominant Estate. As used herein, the term **“aircraft”** shall mean any and all types of aircraft, whether now in existence or hereafter manufactured and developed, to include jet, propeller-driven, civil, military, or commercial aircraft; helicopters, regardless of existing or future noise levels, for the purpose of transporting persons, equipment, or property through the air, by whomsoever owned or operated.

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3. Grantors further agree that in order to assure the safe passage of aircraft, they will not construct, erect, suffer to permit, grow, or allow any new permanent or temporary structure or tree in the Servitude Area that exceeds six feet in height or engage in other activities that interfere with the airspace above the Servitude Area. No structure, vegetation, drone operation, crane, temporary equipment, tower, antenna, utility pole, or other item may penetrate the protected airspace or interfere with aviation operations. If a Grantor allows or maintains such an obstruction and fails to remove same within ten (10) days after written notice, Grantee may enter the Servient Estate and remove such obstruction at that Grantor’s expense, without liability for trespass or damages except for repair of physical damage unrelated to the obstruction removal.

4. Grantee shall have the right to clear, maintain, and protect all airspace surfaces within the Servitude Area required under applicable Federal Aviation Regulations, including but not limited to 14 C.F.R. Part 77 and 14 C.F.R. Part 157, as amended, and to remove or prohibit obstructions necessary to maintain FAA compliance and operational safety.

Grantee shall indemnify Grantors for physical property damage caused by tree removal or entry other than aircraft operation impacts waived herein. Grantors shall indemnify and hold Grantee harmless from claims arising from Grantors’ breach or actions interfering with the servitude. Grantors further waive any claim for nuisance, diminution of property value, inverse condemnation, or interference with enjoyment arising from aircraft operations.

This servitude shall apply to current and future aviation facilities on the Dominant Estate, including relocations, modifications, or expansions of helicopter landing facilities. The parties agree this servitude is a real right and shall be recorded and treated as a predial servitude under Louisiana Civil Code article 706, et seq.

TO HAVE AND TO HOLD said predial servitude, and all rights appertaining thereto unto the Grantee, its successors, and assigns. It is understood and agreed that all provisions herein shall run with the land and shall be binding upon the Grantors, their heirs, administrators, executors, successors, and assigns until such time that the easement is extinguished.

THUS DONE AND PASSED, in _____, Louisiana, on the ____ day of _____, 2025, in the presence of the undersigned competent witnesses, who hereunto sign their names with the said Appearers and me, Notary, after reading of the whole.

WITNESSES:

GRANTEE:

Our Lady of the Angels Hospital, Inc.

 By: Charles L. Spicer, Jr., President

Notary Public

THUS DONE AND PASSED, in _____, Louisiana, on the ____ day of _____, 2025, in the presence of the undersigned competent witnesses, who hereunto sign their names with the said Appearers and me, Notary, after reading of the whole.

WITNESSES:

GRANTOR:

[POPULATE SIGNATURE PAGES FOR SIGNERS ONCE ALL ARE CONFIRMED]

Notary Public

EXHIBIT A – DESCRIPTION OF GRANTORS’ PROPERTY/SERVIENT ESTATE

WASHINGTON PARISH GOVERNMENT (0.118 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO WASHINGTON PARISH GOVERNMENT AND BEING A 1.48 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS,

COMMENCING FROM EASTERN RIGHT OF WAY OF AVENUE F AND THE SOUTHERN RIGHT OF WAY OF W THIRD ST. RUN S76°38’38”E A DISTANCE OF 34.08’; TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE. THENCE CONTINUING ALONG THE SOUTHERN RIGHT OF WAY OF W. THIRD ST. S76°38’38”E A DISTANCE OF 162.95’, THENCE S13°20’36”W A DISTANCE OF 63.38’; THENCE N55°23’30”W A DISTANCE OF 174.85’; BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.118 ACRES, AS IDENTIFIED ON SURVEY BY HENRY E. SCHWARTZ, PLS, DATED OCTOBER 8, 2025, A COPY OF WHICH IS ATTACHED HERETO AND RECORDED HEREWITH.

ALPHA CAPITAL, MIDWEST MANAGEMENT, JERRY DONALD HALL, JR., RUTHIE LEE LEMING (0.247 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO ALPHA CAPITAL BEING A 0.51 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS,

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE AND THE NORTHERN RIGHT OF WAY OF W THIRD ST, WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE. THENCE ALONG THE EASTERN RIGHT OF WAY OF S BORDER ST. N21°30’58”E A DISTANCE OF 107.24’; THENCE S49°06’01”E A DISTANCE OF 162.64’; THENCE S13°35’58”W A DISTANCE OF 31.63’ TO THE NORTHERN RIGHT OF WAY OF W. THIRD ST., THENCE CONTINUING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. N76°24’02”W A DISTANCE OF 159.30’, BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.247 ACRES AS IDENTIFIED ON SURVEY BY HENRY E. SCHWARTZ, PLS, DATED OCTOBER 8, 2025, A COPY OF WHICH IS ATTACHED HERETO AND RECORDED HEREWITH.

KIET DO AND KRISTY CHIANG DO (0.022 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO KIET DO BEING A 0.36

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ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS,

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE. AND THE NORTHERN RIGHT OF WAY OF W THIRD ST. AND FOLLOWING ALONG THE NORTHERN RIGHT OF WAY OF W. THIRD ST. S76°24'02"E A DISTANCE OF 159.30', TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE. THENCE N13°35'58"E A DISTANCE OF 31.63', THENCE S49°06'01"E A DISTANCE OF 68.94' TO THE NORTHERN RIGHT OF WAY OF W THIRD ST, THENCE CONTINUING ALONG THE NORTHERN RIGHT OF WAY N76°24'02"W A DISTANCE OF 61.26', BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.022 ACRES AS IDENTIFIED ON SURVEY BY HENRY E. SCHWARTZ, PLS, DATED OCTOBER 8, 2025, A COPY OF WHICH IS ATTACHED HERETO AND RECORDED HEREWITH.

ANTHONY J. PALAZZO, ET AL. (0.281 ACRE SERVITUDE)

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF TRACT BELONGING TO ANTHONY J. PALAZZO, BEING A 1.05 ACRE PARCEL SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA AND MORE FULLY DESCRIBED AS FOLLOWS,

COMMENCING FROM EASTERN RIGHT OF WAY OF AVENUE F AND THE SOUTHERN RIGHT OF WAY OF W THIRD ST RUN S76°38'38"E A DISTANCE OF 197.03', TO A POINT WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE. THENCE CONTINUING ALONG THE SOUTHERN RIGHT OF WAY OF W THIRD ST S76°38'38"E A DISTANCE OF 136.22', THENCE S13°20'36"W A DISTANCE OF 116.36', THENCE N55°23'30"W A DISTANCE OF 146.17'; THENCE N13°21'00"E A DISTANCE OF 63.38'; BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.281 ACRES AS IDENTIFIED ON SURVEY BY HENRY E. SCHWARTZ, PLS, DATED OCTOBER 8, 2025, A COPY OF WHICH IS ATTACHED HERETO AND RECORDED HEREWITH.

CITY OF BOGALUSA W THIRD ST AND S BORDFR AVE RIGHT OF WAY

A CERTAIN PIECE OR PARCEL OF LAND, BEING A SERVITUDE FOR THE FLIGHT PATH FOR A PROPOSED NEW HELIPAD SITE, OVER AND ACROSS A PORTION OF THE RIGHT OF WAY FOR W THIRD ST. AND S. BORDER AVE. SITUATED IN SECTION 38, T3S-R13E, WASHINGTON PARISH, LOUISIANA, AND MORE FULLY DESCRIBED AS FOLLOWS,

COMMENCING FROM EASTERN RIGHT OF WAY OF S BORDER AVE. AND THE NORTHERN RIGHT OF WAY OF W THIRD ST., WHICH IS THE POINT OF BEGINNING OF SAID SERVITUDE. THENCE FOLLOWING ALONG THE NORTHERN RIGHT OF WAY OF W THIRD ST. N76°24'02"E A DISTANCE OF 220.56'; THENCE S49°06'01"E A DISTANCE OF 124.45' TO THE SOUTHERN RIGHT OF WAY OF W. THIRD ST., THENCE FOLLOWING ALONG THE SOUTHERN RIGHT OF WAY OF W. THIRD ST. N76°38'38"W A DISTANCE OF 303.82'; THENCE N55°23'30"W A DISTANCE OF 62.68' TO THE CENTERLINE OF S BORDER AVE., THENCE FOLLOWING THE CENTERLINE OF S BORDER AVE. N20°59'43"E A DISTANCE OF 156.73' THENCE S49°06'01"E A DISTANCE OF 29.02' TO THE WESTERN RIGHT OF WAY OF S. BORDER RD., THENCE FOLLOWING ALONG THE EASTERN RIGHT OF WAY OF S. BORDER AVE

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S21°30'58"W A DISTANCE OF 107.24'; BACK TO THE POINT OF BEGINNING OF SAID SERVITUDE.

THE ABOVE DESCRIBED SERVITUDE CONTAINS 0.461 ACRES AS IDENTIFIED ON SURVEY BY HENRY E. SCHWARTZ, PLS, DATED OCTOBER 8, 2025, A COPY OF WHICH IS ATTACHED HERETO AND RECORDED HEREWITH.

EXHIBIT B – DESCRIPTION OF GRANTEE’S PROPERTY/DOMINANT ESTATE

Those parcels of land designated as **Lots 16, 17, 18 and 19, Block No. 1, L.A. Pierce Pleasant Hill Addition to the City of Bogalusa, Parish of Washington,** State of Louisiana, as per map or plat on file in the office of the Clerk of Court for Washington Parish, Louisiana.

AND

3.08 acres of land, more or less, in the Northeast part of Block 50 of Re-Subdivision or Supplemental Map No. 1 of Original Map of South Bogalusa, being in Headright 38, Township 3 South, Range 13 East, City of Bogalusa, Parish of Washington, State of Louisiana, more fully described as follows:

Beginning at the Southeast corner of Block 50 being the intersection of the North margin of 5th Street and the West margin of Plaza; thence run in a Northerly direction along West margin of Plaza a distance of 300.00 feet to Point of Curve; thence continue in a Northerly direction along west margin of Plaza along curve to the right with a radius of 360.00 feet and consuming an angle of 11 degrees 32 minutes a distance of 72.47 feet to a point on said curve being the Northeast corner of property conveyed to Bogalusa Community Medical Center by deed dated December 29, 1951, the POINT OF BEGINNING; thence continue in a Northerly direction along West margin of Plaza along a curve to the right with a radius of 360.00 feet and consuming an angle of 30 degrees 29 minutes a distance of 191.53 feet to the intersection of the South margin of Sycamore Street; thence from a tangent at said point, turn an angle of 91 degrees 24 minutes to the left and run in a Northwesterly direction along South margin of Sycamore Street, a distance of 244.20 feet to the South margin of 3rd Street; thence turn an angle of 40 degrees 37 minutes to the left and run in a Westerly direction along South margin of 3rd Street, a distance of 290.00 feet; thence turn an angle of 90 degrees to the left and run in a Southerly direction a distance of 327.87 feet to the north line of Medical Center property above referred to; thence turn an angle of 90 degrees to the left and run in an Easterly direction along North line of said Medical Center property a distance of 390.08 feet to the POINT OF BEGINNING.

LESS AND EXCEPT

1.026 acres of land located in the Northeast part of Block 50 of Re-Subdivision or Supplemental Map No. 1 of the Original Map of South Bogalusa, Headright 38, Township 3 South, Range 13 East, City of Bogalusa, Washington Parish, Louisiana, more particularly described as follows:

Commence from the intersection of the Eastern line of Avenue F and the Southern line of Third Street, 197.19 feet along the Southern line of Third Street in an Easterly direction to the POINT OF BEGINNING; thence from the POINT OF BEGINNING continue in an Easterly direction along the Southern line of Third Street, 136.28 feet; thence turn an angle of 90 degrees to the right and go 327.87 feet; thence turn an angle of 90 degrees to the right and go 136.28 feet; thence turn

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an angle of 90 degrees to the right and go 327.87 feet to the POINT OF BEGINNING. All as shown on a survey by Richard B. Edwards dated March 18, 1993.

Being the same property now described according to that "Plat Prepared for Bogalusa Community Medical Center, Fidelity National Title Insurance Company, and Kean Miller LLP Showing a Survey of: 2.02 Acres of Land Being a Portion of Block 50 of the Re-Subdivision of South Bogalusa Located in Headright 38 Township 03 South Range 13 East, St. Helena Meridian, City of Bogalusa, Louisiana", dated July 15, 2016, revised October 27, 2016, by Nobles & Associates L.L.C., Job Number 2128, as follows:

Commence at the corner reported to be North 13 degrees 18 minutes 49 seconds East 300.00 feet from the North right of way of 5th Street and the West right of way of Plaza Drive; thence run along said right of way of Plaza Drive at a curve to the right with Arc Length 72.47 feet, Radius 360.00 feet, Chord Bearing North 19 degrees 35 minutes 39 seconds East, Chord Length 72.35 feet to a 1/2" iron rod set and THE POINT OF BEGINNING; thence leave said right of way North 76 degrees 38 minutes 28 seconds West 253.80 feet (Title: North 75 degrees 45 minutes 00 seconds West) to a railroad spike found; thence North 13 degrees 19 minutes 52 seconds East 327.89 feet (Title: 327.87 feet) to a 1/2" iron rod found on the South right of way of Third Street; thence run along said right of way South 76 degrees 39 minutes 42 seconds East 155.84 feet to a 1/2" iron rod found on the West right of way of Sycamore Street; thence leave said right of way of Third Street and run along said right of way of Sycamore Street South 35 degrees 47 minutes 41 seconds East 244.20 feet to a 1/2" iron rod set on the West right of way of Plaza Drive; thence leave said right of way of Sycamore Street and run along said right of way of Plaza Drive at a curve to the left with Arc Length 191.47 feet, Radius 360.00 feet, Chord Bearing South 40 degrees 35 minutes 52 seconds West, Chord Length 189.22 feet to a 1/2 iron rod set and THE POINT OF BEGINNING.



WASHINGTON PARISH LIBRARY

Patron Complaints and Grievances Policy

The Washington Parish Library is committed to providing high-quality service to all patrons and to maintaining public trust through transparency and responsiveness. For the purposes of this policy, a patron grievance is a formal complaint submitted by a member of the public regarding library services, facilities, policies, procedures, or staff interactions.

Service Concern Resolution

The Washington Parish Library encourages staff to resolve routine service concerns at the point of service whenever possible. Staff members are authorized to take reasonable steps to address patron concerns and correct service issues in a timely and courteous manner.

When a concern cannot be resolved at the point of service, the matter may be referred to branch management or handled through the Library's Patron Grievance Procedure.

Patron Grievances

Patrons who have concerns regarding library services, facilities, policies, procedures, or staff interactions may submit a formal complaint for review. The Library will make reasonable efforts to address and resolve complaints in a timely and professional manner.

Complaints regarding library materials are addressed through the Library's Materials Reconsideration Policy. Matters related to personnel decisions, employment actions, or actions of the Library Board are not subject to this grievance procedure.

The Library may decline to investigate complaints that are anonymous, lack sufficient detail to permit review, or concern matters outside the scope of this policy.

The Library reserves the right to discontinue review of complaints that contain abusive language, threats, or repeated submissions of previously resolved issues.

Complaints will be reviewed according to the Library's established Patron Grievance Procedure. Submission of a complaint does not guarantee a particular outcome.

The Library Board of Control serves as the final level of appeal for complaints that cannot be resolved administratively.

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Washington Parish Library

Patron Grievance Procedures

For the purposes of this procedure, a patron grievance is a formal complaint submitted by a member of the public regarding library services, policies, facilities, or staff conduct. The patron grievance process provides a structured method for reviewing and addressing concerns raised by library users in a fair and consistent manner.

Informal Resolution

Whenever possible, patrons are encouraged to address concerns directly with library staff at the time the issue occurs. Many concerns can be resolved quickly through informal discussion with the staff member providing service or with the staff member on duty.

If the concern cannot be resolved informally, or if the patron prefers not to raise the issue directly with staff, the patron may submit a formal complaint.

Level One: Branch Management

Formal complaints may be submitted to branch management in person, by telephone, in writing, by email, or through the library's website.

When submitting a complaint, patrons should provide:

- Full name and contact information
- A description of the concern
- Relevant details regarding the incident or issue

- The outcome or resolution being requested

Branch management will review the complaint and provide a response within five (5) business days, whenever possible.

Complaints concerning branch management or headquarters staff should be directed to the Assistant Director.

Complaints concerning the Assistant Director should be directed to the Library Director.

If the complainant is dissatisfied with the response received at this stage, they may appeal the decision to the Library Director.

Level Two: Library Director

Upon appeal, the Library Director will review the complaint and any previous responses.

The review process may include:

- Reviewing documentation submitted by the complainant
- Contacting the complainant for clarification or additional information
- Meeting with staff members involved to gather relevant information

The Library Director will determine whether the complaint is substantiated based on the information available and determine the appropriate resolution.

The complainant will receive a written response within ten (10) business days, whenever possible.

Complaint documentation will be maintained in a confidential administrative file and retained in accordance with the Library's records retention policies.

The Library reserves the right to discontinue review of complaints that contain abusive language, threats, or repeated submissions of previously resolved issues.

If the complainant remains dissatisfied with the Director's response, they may appeal the decision to the Library Board of Control.

Level Three: Library Board of Control

If a complainant appeals the Director's decision, the matter may be submitted to the Library Board of Control for review.

Complaints concerning the Library Director should be directed to the Library Board and will follow the same review process.

The Board may review the complaint, supporting documentation, and the administrative response. At the discretion of the Board, the complainant may be permitted to present information.

After review, the Library Board of Control will issue a final determination.

The decision of the Board is final.



WASHINGTON PARISH LIBRARY Employee Grievance Policy

For the purposes of this policy, a *grievance* is a formal complaint submitted by an employee alleging unfair treatment, improper application of library policy, or adverse working conditions that affect the employee's ability to perform their duties.

The grievance process provides a structured method for reviewing such concerns and determining whether library policies or practices have been applied appropriately.

The Washington Parish Library is committed to fair and consistent treatment of all employees. Employees who believe they have been treated unfairly, subjected to improper working conditions, or adversely affected by the application of library policies may submit a formal grievance.

Employees are encouraged to attempt to resolve concerns informally with their supervisor whenever possible. If a concern cannot be resolved informally, employees may submit a grievance through the Library's formal grievance procedure.

The Library will review grievances in a timely, fair, and confidential manner to the extent permitted by law.

Procedures for submitting and reviewing employee grievances are outlined in the Library's Employee Grievance Procedure.



WASHINGTON PARISH LIBRARY Staff Conflict Resolution Policy

For the purposes of this policy, a staff conflict refers to an interpersonal disagreement or workplace dispute between employees that affects communication, collaboration, or the work environment.

The Washington Parish Library recognizes that differences of opinion and interpersonal conflicts may occur in any workplace. The Library is committed to maintaining a professional, respectful work environment in which concerns can be addressed constructively and resolved as promptly as possible.

Employees are encouraged to address concerns directly and professionally whenever appropriate. When informal resolution is not possible, employees may use the Library's formal conflict resolution procedure to seek assistance from supervisory staff or Library Administration.

The purpose of this policy is to provide a fair and consistent framework for resolving workplace conflicts while maintaining a positive and productive work environment for all employees.

This policy applies to interpersonal disputes between employees that do not involve formal disciplinary action. Situations involving alleged misconduct or violations of library policy may instead be addressed through the Library's Employee Discipline Policy.

Procedures for resolving staff conflicts are outlined in the Library's Staff Conflict Resolution Procedure



WASHINGTON PARISH LIBRARY

Employee Discipline & Corrective Action Policy

For the purposes of this policy, “employee discipline” or “corrective action” refers to measures taken by supervisors or Library Administration to address employee conduct, performance issues, or violations of library policies.

The purpose of corrective action is to improve employee performance or behavior, maintain effective library operations, and ensure compliance with established policies and workplace expectations.

Progressive Discipline

The Washington Parish Library generally follows a progressive approach to corrective action in order to provide employees with an opportunity to improve performance or correct behavior. Progressive discipline may include coaching, verbal warnings, written warnings, performance improvement plans, suspension, or termination.

However, the Library reserves the right to determine the appropriate level of corrective action based on the nature and severity of the situation, the employee’s work history, and the circumstances surrounding the incident. In some cases, steps in the progressive discipline process may be repeated, combined, or skipped when deemed appropriate by Library Administration. Nothing in this policy creates a contractual right to progressive discipline.

Employee Responsibility for Policy Compliance

Employees are expected to be familiar with and comply with all applicable library policies, procedures, and workplace expectations. Library Administration will make reasonable efforts to communicate policies and provide guidance when necessary; however, lack of familiarity with a

policy or procedure does not exempt an employee from responsibility for complying with established standards of conduct and performance.

Documentation of Corrective Actions

Supervisors are expected to document employee performance concerns and disciplinary actions at all levels of the corrective action process. Documentation may include notes of coaching conversations, verbal warnings, written warnings, and any supporting information relevant to the situation.

Documentation should include the date of the discussion, a description of the issue, expectations for improvement, and any follow-up actions that may be required.

Maintaining accurate documentation helps ensure consistency, transparency, and fairness in the application of corrective actions and provides a clear record of efforts to address workplace concerns.

For formal corrective actions, Library supervisors should use the Library's Performance Development Plan Form for documentation.

Employee Acknowledgment of Disciplinary Documentation

An employee's signature on disciplinary documentation indicates that the employee has received and reviewed the information discussed. A signature does not necessarily indicate agreement with the contents of the document or the disciplinary action taken.

Employees may submit a written response or clarification to be included with the documentation if they wish to provide additional context or perspective regarding the situation.



WASHINGTON PARISH LIBRARY

Social Media Policy

Online social networks—such as Facebook, YouTube, and Instagram—are valuable tools to build relationships with library users, share information, and promote library programs and materials. This policy guides the appropriate use of social media by library staff, both when representing the library and in their personal online activity.

Library Social Media Accounts

Staff who post on behalf of the library are representing Washington Parish Library and must adhere to professional standards.

1. Standards of Conduct

- Follow the Washington Parish Library Standards of Conduct, including confidentiality rules.
- *Follow Use of Electronic Mail, Internet, and Equipment policies.* All library-provided devices and accounts are property of the library; there is no expectation of privacy when using library systems.

2. Professional Conduct Online

- Posts should be professional and appropriate, reflecting positively on the library.
- Posts are part of the public record; if staff are unsure about content, consult the Library Director or designee.
- Library staff may not provide legal, medical, business, tax, or other professional advice through social media.

3. Account Approval & Branding

- New social media accounts representing the library must be approved by the Library Director or designee before launching.
- Accounts must be branded with the library logo, contact information, and website: www.washingtonparishlibrary.org.
- Accounts should also state: “Posts on this account may not reflect the official views of the Washington Parish Library.”
- Content shared from other sources must follow copyright and fair use laws, giving proper credit to original creators.

4. Photography & Personal Attribution

- All photographs posted must have a signed photo release.
- First-person posts should end with the poster’s first name.

Staff are reminded that media inquiries (press, TV, radio, newspapers) are governed by the Library’s *Media & Public Relations Policy*.

Personal Social Media

Washington Parish Library respects staff members’ rights to lawful personal social media activity. Staff personal social media activity is generally outside the scope of library oversight, while still respecting professional standards.

1. Protected Personal Activity

- Staff may maintain personal social media accounts and engage in lawful online activity outside work hours.
- Posts that do not interfere with library duties, violate library policies, or create a conflict of interest are considered personal and outside the scope of employment.

2. Professional Responsibility

- Staff should exercise judgment online; content that is illegal, harassing, discriminatory, or clearly harmful to the library’s operations or reputation may be addressed through existing policies.
- Visibility of posts alone—being public or widely shared—is not a violation.

3. No Retaliation for Lawful Activity

- The library will not take adverse action against staff for personal social media activity that is lawful and does not violate library policies or applicable laws.
-

Enforcement & Questions

- Violations of the policy when representing the library may result in corrective action under the library’s standard disciplinary procedures.
- Questions about appropriateness of posts, content, or account management should be directed to the Library Director or designee.

Washington Parish Library
Director's Report
Thursday, March 19, 2026

Key Highlights

- Issues transitioning to the new phone platform should be resolved by the end of the week (March 21st).
 - No issues requiring board action at this time.
-

Financial Snapshot

- The library continues to operate within the approved budget.
 - The Technology budget line was not completely spent last year. Will address this in the May meeting.
-

Staffing & Personnel

- Hired several new substitutes. Allows us to actively assess new hires for our vacant positions.
 - Headquarters staff is taking the lead on training new hires to ensure each has the same foundation of basic tasks, such as filling out their timesheets, using their work email, accessing Atrium, etc.
 - Spring Staff Day on February 16th was a success. The Friends of the Library provided lunch from Bessie's Sweet Retreat.
 - Seven staff members attended the Louisiana Library Association Conference in Lake Charles, La (March 5th-7th): Cody Bates, Nakita Beauclaire, Victoria Callegan, Linda Ginn, Sonnet Ireland, Aerial Mathews, and Tracy Seals.
-

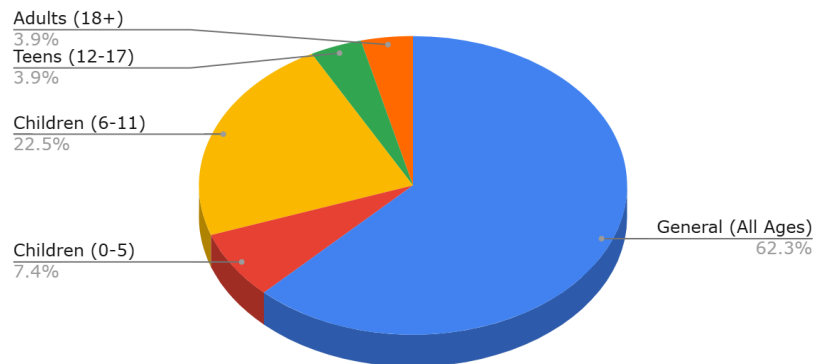
Services & Programming

- Staff are currently refining data tracking practices to improve consistency and accuracy in reporting across all branches.

January 2026							
Branch	Active Programs On-Site	Attendance	Active Programs Off-Site	Attendance	Passive Programs On-Site	Passive Programs Off-Site	Total Active Attendance
Bogalusa	20	158	2	56	9	1	214
Franklinton	8	73	1	10	7	0	83
Enon	19	322	-	-	3	-	322
Thomas	11	80	3	80	3	-	160
Total	58	633	6	146	22	1	779

February 2026							
Branch	Active Programs On-Site	Attendance	Active Programs Off-Site	Attendance	Passive Programs On-Site	Passive Programs Off-Site	Total Active Attendance
Bogalusa	15	139	2	71	14	-	210
Franklinton	14	160	3	177	12	-	337
Enon	10	303	-	-	2	-	303
Thomas	11	70	3	96	-	-	166
Total	50	672	8	344	28	0	1,016

Programs by Target Audience



Usage & Statistics

January 2026					
Branch	Circulation	Tech Checkouts	Computer Use	Wifi	Patron Count
Bogalusa	575	15	588	3,728	2,048
Franklinton	1,088	45	344	2,287	1,756
Enon	542	15	42	582	591
Thomas	159	25	14	608	128
Total	2,364	100	988	7,205	4,523

February 2026					
Branch	Circulation	Tech Checkouts	Computer Use	Wifi	Patron Count
Bogalusa	666	25	551	5,525	2,146
Franklinton	1,042	27	371	2,951	1,807
Enon	434	27	36	575	393
Thomas	116	20	10	762	132
Total	2,258	99	968	9,813	4,478

Facilities & Operations

- Architect Tom Pistorius is working with Parish Government to locate contractors and get pricing. We expect Angie to be ready in the fall.
- Enon’s ramp has been fixed. I’ve reached out to maintenance about sealing the wood and painting the wire with something to protect it from rust.
- Once Angie is underway, Mr. Pistorius will be working with us to make plans for the rest of the branches. Projects include moving Headquarters to its own location to allow for expansion in Franklinton.

Grants, Projects & Initiatives

- Active grants continue to progress in accordance with established timelines.
 - No new grant awards or applications require board attention at this time.
-

Community & Public Visibility

- The library maintained its public presence through ongoing community engagement.
 - Routine partnerships and outreach efforts continued.
-

Policy, Compliance & Governance

- Library operations remain in compliance with applicable parish, state, and statutory requirements.
 - Administration has focused on updating procedures over the last year. Updating policies has recently resumed.
 - Researching Code of Conduct, Credit Card, and Public Record policies and procedures.
 - No policy actions are requested of the board at this time.
-

Correspondence and Communication

- HB 627 has been prefiled in the House. Would require each public entity created by law to video record and broadcast live all proceedings in a public meeting.
-

Items for Board Awareness

- No additional items are presented for board awareness this period.
-

Submitted by:

Sonnet Ireland, Library Director

CHANGE OF OCCUPANCY - from Diner to Library



tom a. pistorius, architect
109 1/2 west thomas street
985.542.4287 • telephone
www.pistoriusassociates.com

PROJECT DATA:

OWNER: WASHINGTON PARISH LIBRARY
825 FREE STREET
FRANKLINTON, LA 70438

ARCHITECT: PISTORIUS ASSOCIATES, LLC
ATTN: TOM PISTORIUS, AIA
P.O. BOX 673
HAMMOND, LA 70401
PHONE - 985-542-4287

ADDRESS: 30245 RAILROAD STREET
ANGIE, LA 70426

OCCUPANCY: LIBRARY
A-3 OCCUPANCY
READING ROOM - OCC LOAD 50 NET
STACK AREA - OCC LOAD 100

AREA: 1,270 SF

OCCUPANCY LOAD: BACK OFFICE - 474/100 = 5
READING ROOM - 785/50 = 16

TOTAL OCCUPANTS: 21

ALLOWABLE AREA: TYPE V-B = 6,000 SF (GOOD)

OCCUPANT LOAD: PER LIFE SAFETY PLAN
LESS THAN 300 (GOOD)

EXITS: (1) EXIT PROVIDED - TRAVEL DISTANCE 50'-0"

TYPE OF CONSTR. V-B

PROJECT GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- ALL WORK AND MATERIAL SHALL BE REGARDED AS NEW UNLESS SPECIFICALLY INDICATED AS "EXISTING" OR "(E)" ON THE DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL TRADES AND METHODS OF CONSTRUCTION AS REQUIRED FOR COMPLETION OF THE PROJECT WITH THE INTENT OF THESE DOCUMENTS.
- ALL MATERIALS AND UNFINISHED SURFACES EXPOSED TO VIEW SHALL BE PAINTED UNLESS FACTORY PRE-FINISHED, NOTED OTHERWISE OR DIRECTED BY THE ARCHITECT.
- NO UTILITIES, PLUMBING, PIPING, CONDUIT, ETC. SHALL BE EXPOSED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- SHOULD DIMENSIONS BE MISSING OR CONFLICTING, NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK.
- CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES PRIOR TO EXCAVATING, TRENCHING, ETC. AND SHALL REPAIR OR REPLACE UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.
- SECURITY AND SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY. LIMITS OF CONSTRUCTION SHALL BE COMPLETELY FENCED AND SECURED DURING CONSTRUCTION.
- NO ASBESTOS SHALL BE USED OR INCORPORATED INTO THE PROJECT IN ANY FORM.
- SEPARATE DISSIMILAR METALS AS THEY OCCUR AND/OR PER MANUFACTURER'S RECOMMENDATIONS.
- APPLY SEALANT AT INTERSECTIONS OF ALL DISSIMILAR MATERIALS.

WALL & PARTITION GENERAL NOTES:

- ALL BLOCKING SHALL BE QUALITY OF MATERIAL TO MATCH METAL STUDS.
- BRACE INTERIOR NON-BEARING WALLS TO STRUCTURE.
- CONSTRUCT INTERIOR WALLS AT ALL UTILITY AND EQUIPMENT ROOMS WITH SOUND DEADENING BOARD.

ACCESSIBILITY GENERAL NOTES:

- ACCESSIBLE ENTRANCES TO THE BLDG. SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- EXTERIOR EXITS, THAT ARE LOCATED ADJACENT TO ACCESSIBLE AREAS & WITHIN 6' OF ADJACENT GROUND LEVEL, SHALL BE ACCESSIBLE.
- ACCESSIBLE RAMPS REQ. BY ANSI A117.1 SHALL NOT HAVE SLOPES THAT EXCEED 1 FEET IN 12 FEET AND SHALL HAVE HANDRAILS BOTH SIDES, EVEN IF NOT SHOWN ON THE DRAWINGS.
- THE SURFACE OF RAMPS AND GROUND SURFACES SHALL BE ROUGHENED OR SHALL BE OF SLIP RESISTANT MATERIALS.
- AN ACCESSIBLE ROUTE OF TRAVEL 3FT. WIDE MIN. MUST BE PROVIDED TO ALL PORTIONS OF THE BLDG. AND BETWEEN THE BLDG. AND THE PUBLIC WAY.
- THRESHOLD MUST BE 1/2" IN HEIGHT OR LESS.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SLOPE NOT EXCEEDING 1:50.
- ALL ACCESSIBLE PARKING SPACES SHALL BE OUTLINED ON ALL FOUR SIDES, HAVE A CONTRASTING COLOR AND THE INTERNATIONAL WHEELCHAIR SYMBOL ON THE GROUND WITHIN THE SPACE.
- ALL ACCESSIBLE PARKING SPACES SHALL HAVE A SIGN (MIN 5 FT. ABOVE FINISH GRADE IN FRONT OF THE SPACE) WHICH INCLUDES THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- SIGNS DESIGNATING PERMANENT ROOMS AND SPACES SHALL MEET ACCESSIBILITY REQUIREMENTS.
- ALL ALARMS SHALL MEET ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE ROUTE SHALL BE WITHOUT STEPS OR CHANGES IN LEVEL GREATER THAN 1/2" WITHOUT AN APPROVED RAMP.
- ACCESSIBLE ROUTES SHALL SERVE AS EXITS OR CONNECT TO AREAS OF RESCUE ASSISTANCE.

ELECTRICAL NOTES

- ELECTRICAL WORK IS NOT PART OF THIS PACKAGE AND IS BEING HANDLED BY AN ELECTRICAL CONTRACTOR
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SIZING AND FUNCTIONING OF THE PANELS AND ALL WIRING, SWITCHES AND FIXTURES TO BE RELOCATED PER THE PLAN LAYOUT AND NEW SERVICE IF NECESSARY.
- DATA/VOICE, LIGHT SWITCHES AND POWER OUTLETS ARE LOCATED PER THE TENANT'S DIRECTION UNLESS INDICATED IN THE PLANS. THE DEVICES SHOWN ON THESE PLANS ARE DIAGRAMATIC ONLY AND MUST BE COORDINATED BY THE ELECTRICAL CONTRACTOR.
- THE INTENT FOR ALL ELECTRICAL COMPONENTS IS TO USE THE EXISTING DEVICES AND RELOCATE EXISTING. ELECTRICAL CONTRACTOR SHALL REVIEW THE EXISTING LOADS/CURRENT ENERGY DEMAND AND DETERMINE IF THE NEW LAYOUT WILL NEED TO BE UPGRADED. IF ELECTRICAL SERVICE UPGRADE IS REQUIRED, IT IS THE RESPONSIBILITY OF THE TENANT/OWNER AND ELECTRICAL CONTRACTOR TO SIZE THE SERVICE ACCORDINGLY AND PROVIDE THE BUILDING OFFICIAL WITH THE APPROPRIATE DOCUMENTATION.
- ELECTRICAL WORK SHALL COMPLY WITH MOST RECENT NFPA 70, NATIONAL ELECTRICAL CODE. FOR ALL PROPOSED ELECTRICAL WORK IN THIS SUBMITTAL, ELECTRICAL WORK AND MODIFICATIONS MAY INCLUDE BUT NOT LIMITED TO THE FOLLOWING: LIGHTING FIXTURES, RECEPTACLES, PANELBOARDS, PANEL SCHEDULES, LOAD SCHEDULES, UTILITY COMPANY OR TRANSFORMER KVA SIZE, NUMBER OF PHASES, VOLTAGE AND SECONDARY SHORT CIRCUIT AMPS, FIXTURE SCHEDULES, WIRE TYPE, SIZING AND CIRCUITING, SINGLE LINE DIAGRAM, PROPERLY SIZED NEW AND EXISTING PROTECTIVE EQUIPMENT, INCLUDING SERVICE DISCONNECTS, PANELBOARDS, CIRCUIT BREAKERS AND FUSED SWITCHES, SIZED FOR AVAILABLE SHORT CIRCUIT AMPS, PROPERLY SIZED SYSTEM GROUNDING CONDUCTOR AND GROUNDING ELECTRODES, CONNECTION OF THE SYSTEM GROUNDING AND BONDING AT THE SERVICE DISCONNECT ENCLOSURES, PROPERLY SIZED OVER-LOADS OR OVER-CURRENT AND SHORT CIRCUIT PROTECTIVE DEVICES FOR CONDUCTORS, MOTORS, TRANSFORMERS AND EQUIPMENT, PROPERLY SIZED CONDUCTORS FOR EQUIPMENT GROUNDING AND BONDING OF ALL METALLIC CONDUIT AND ENCLOSURES, INSTALLATION OF GROUND FAULT CIRCUIT RECEPTACLES, ETC.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH TENANT OF ALL EQUIPMENT TO BE INSTALLED IN THE SPACE AND TO VERIFY CIRCUITING AND LOADS.
- ALL RECEPTACLES IN TOILET ROOM OR ALONG STAFF BREAK ROOM COUNTER SHALL HAVE GFCI PROTECTION.
- INSTALL PROTECTIVE COVERS IN ALL AREAS FOR RECEPTACLES 18" OR LESS A.F.F.
- COORDINATE COLOR OF NEW SWITCH AND RECEPTACLE COVER PLATES WITH EACH TENANT.
- UNLESS NOT ALREADY IN PLACE, EMERGENCY LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 101.
- PROVIDE ILLUMINATION AT MEANS OF EGRESS PER NFPA 101.
- EXIT SIGNS COMPLYING WITH NFPA 101 SHALL DEFINE EXITS AND ACCESS TO EXITS.
- CONTRACTOR SHALL PAINT CIRCUIT BREAKERS FEEDING THE EXIT AND EMERGENCY LIGHT CIRCUITS RED.

MECHANICAL NOTES

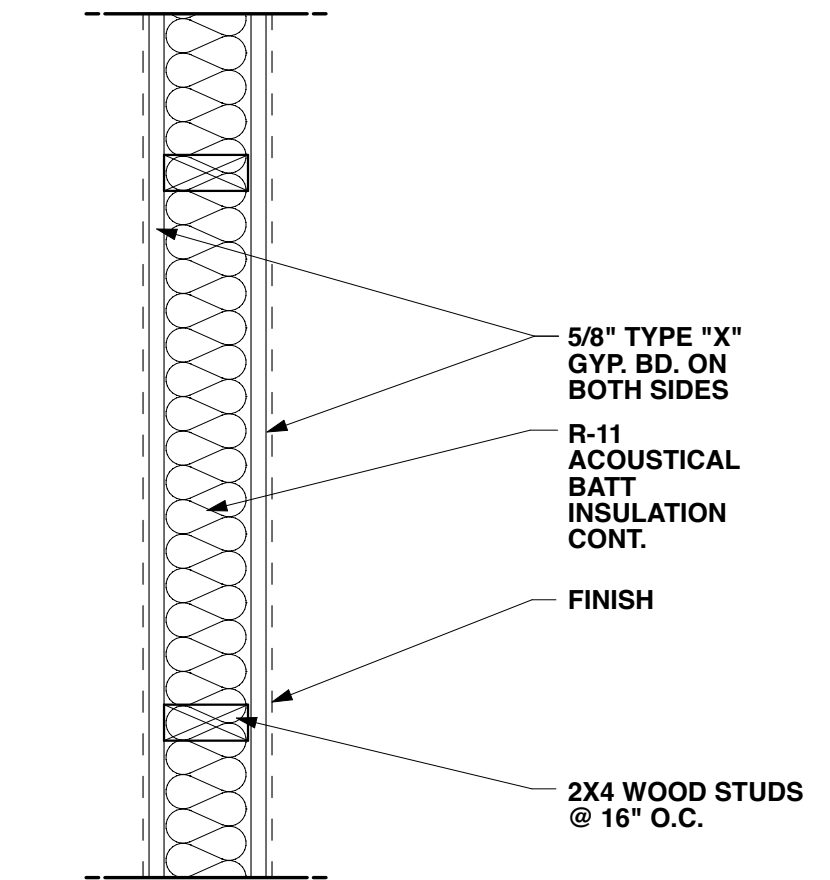
- MECHANICAL WORK IS NOT PART OF THIS PACKAGE BUT IS BEING HANDLED BY MECHANICAL SUB-CONTRACTOR.
- HVAC CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN, SIZING, AND FUNCTIONING OF THE UNITS AND DUCTS. CONTRACTOR MUST VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO DESIGNING A COMPLETE DUCT AND DIFFUSER RELOCATION.
- ALL HVAC WORK, INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR HANDLERS, PIPING, SUPPLY VENTS, RETURN VENTS, CONDENSATE LINES, ETC. SHALL BE RELOCATED AND SIZED ACCORDINGLY IF NECESSARY PER THE REVISED CEILING PLAN LAYOUT OF ROOMS AND NEW LIGHT FIXTURES.
- ALL HVAC SYSTEMS AND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE.
- ALL MECHANICAL INSTALLATIONS MUST MEET COMMERCIAL STANDARDS INCLUDING HEATING, COOLING, WATER HEATING, DUCTWORK, ETC.
- ALL MECHANICAL EQUIPMENT INCLUDING UNITS ABOVE CEILING MUST HAVE CLEARANCE TO ACCESS FOR SERVICING. COORDINATE LOCATION OF UNITS IN ORDER TO PROVIDE THIS.
- VERIFY THAT EXISTING UNITS HAVE SMOKE DETECTORS INSTALLED OVER 2,000 CFM AND ARE CONNECTED TO THE SMOKE ALARM SYSTEM.
- CONTRACTOR SHALL RUN A COMPLETE TEST AND BALANCE OF THE SYSTEM AFTER INSTALLATION AND SHALL MAKE PROVISIONS TO ADJUST THE MECHANICAL DESIGN IF IT DOES NOT MEET THE CORRECT LEVEL OF PERFORMANCE.

PLUMBING NOTES

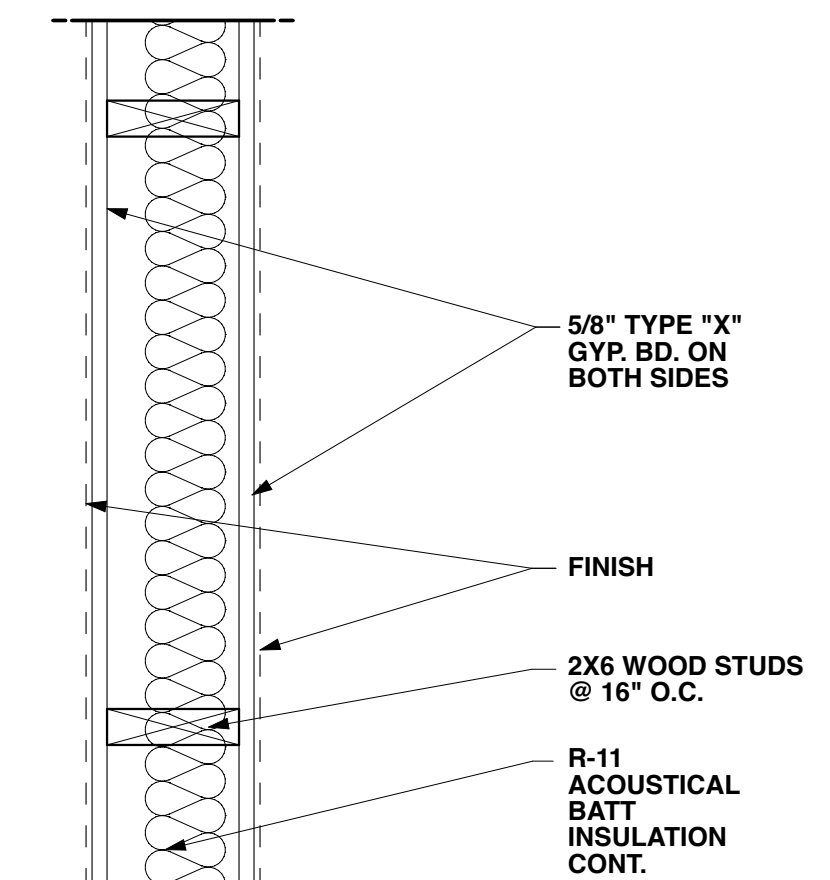
- PLUMBING WORK IS NOT PART OF THIS PACKAGE OTHER THAN LOCATION OF DEVICES AND FIXTURES.
- THE EXTENT OF THE PLUMBING IS EXISTING TO REMAIN OTHER THAN CHECKING ADA CLEARANCES IN EXISTING BATHROOM
- CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN, SIZING, ONE LINE DIAGRAMS, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO ANY INSTALLATION OR PRIOR TO SUBMITTING A PRICE TO OWNER.
- EXISTING WATER HEATER MUST BE SERVICED AND RELOCATED IN A LOCATION ACCEPTABLE TO THE OWNER.
- INSTALL COLD AND/OR HOT WATER LINES TO NEW FIXTURES COMPLETE WITH VALVES AND SHOCK ABSORBERS. PROVIDE ACCESS TO VALVES AS REQUIRED.
- ALL PLUMBING STANDARDS SUCH AS INSULATION OF PIPING SHALL BE EQUAL OR BETTER THAN WHAT IS EXISTING.

SHEET INDEX:

G-001 GENERAL NOTES, LIFE SAFETY PLAN
A5-101 SITE PLAN
A-101 EXISTING PLAN/FLOOR PLAN
A-102 FINISH PLAN/REFLECTED CEILING PLAN



W
03
WOOD STUD PARTITION
AT 16" O.C.



W
04
WOOD STUD PARTITION
AT 16" O.C.
PLUMBING WALLS

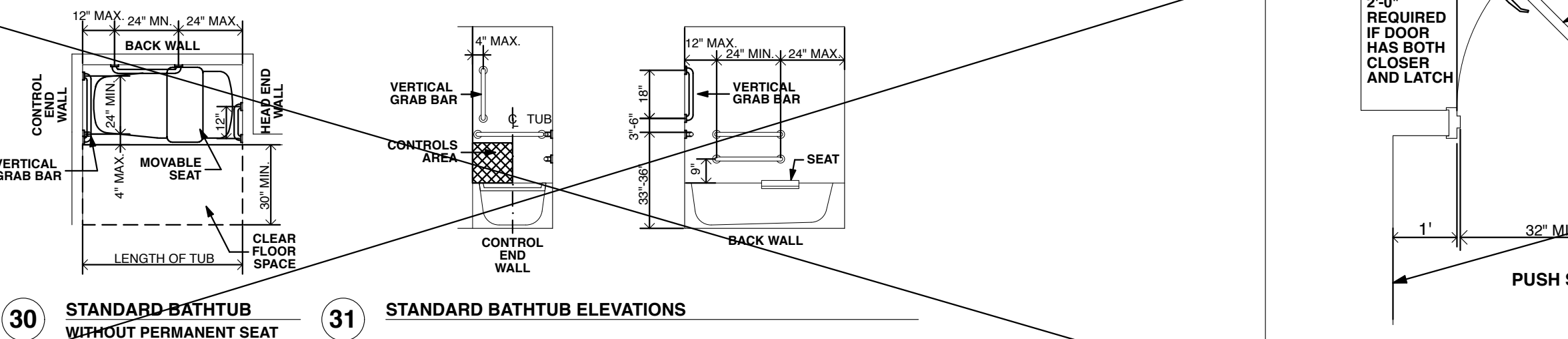
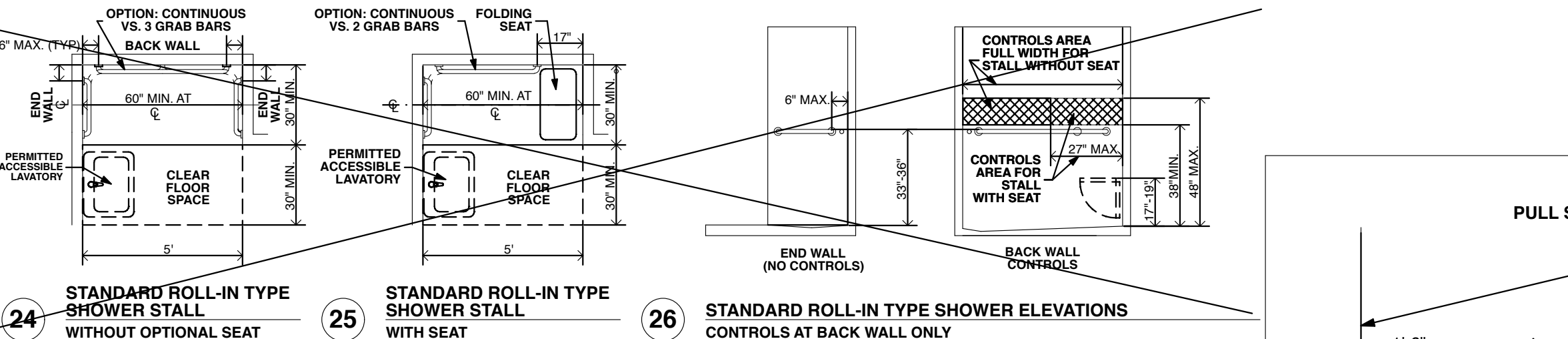
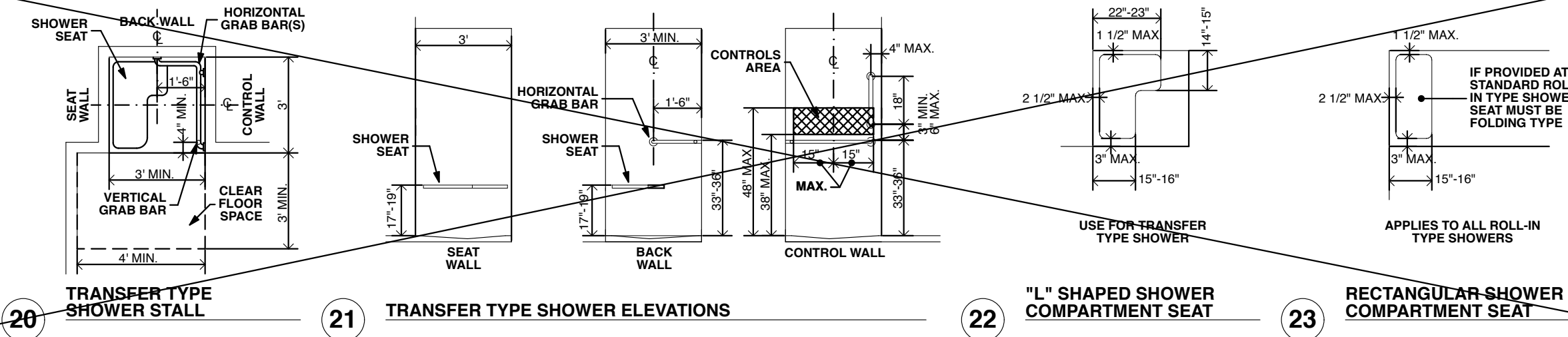
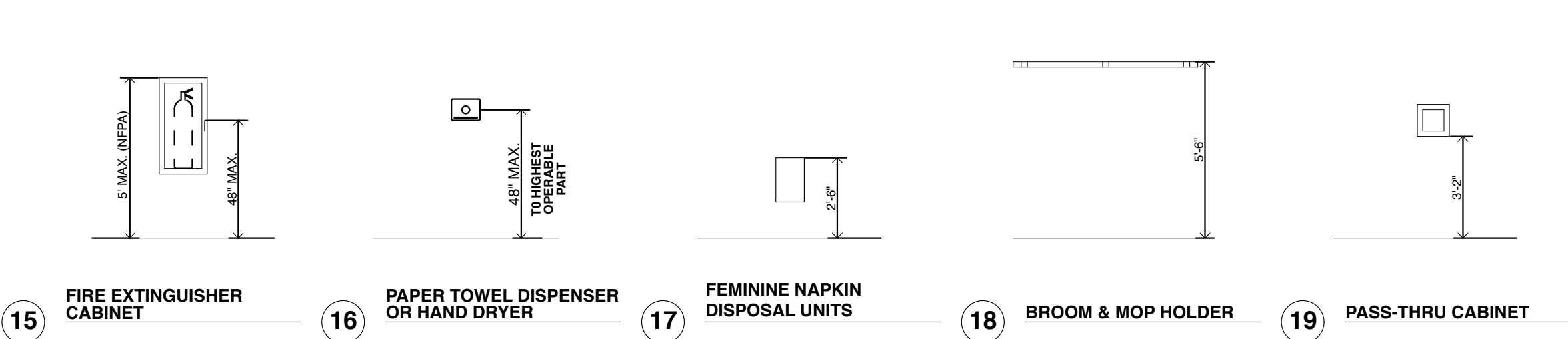
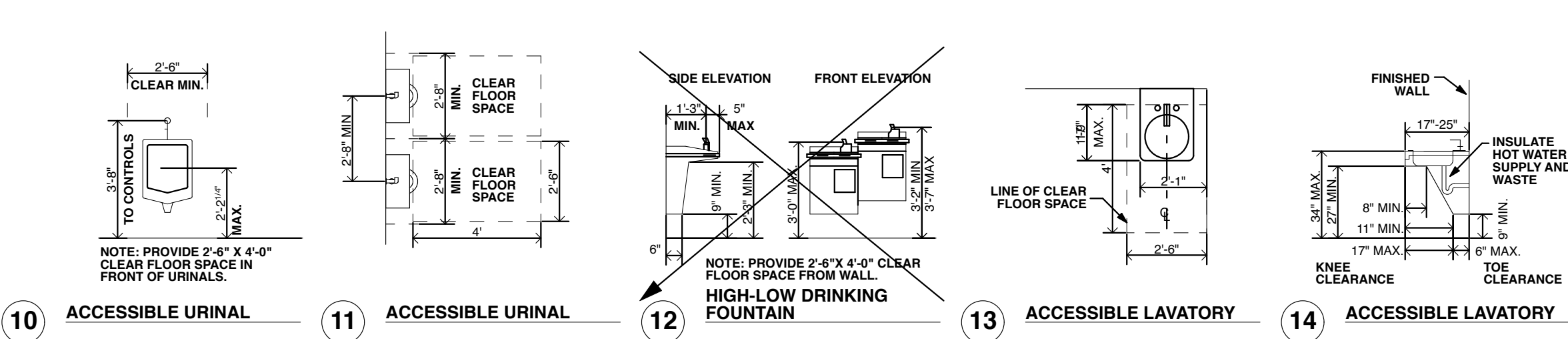
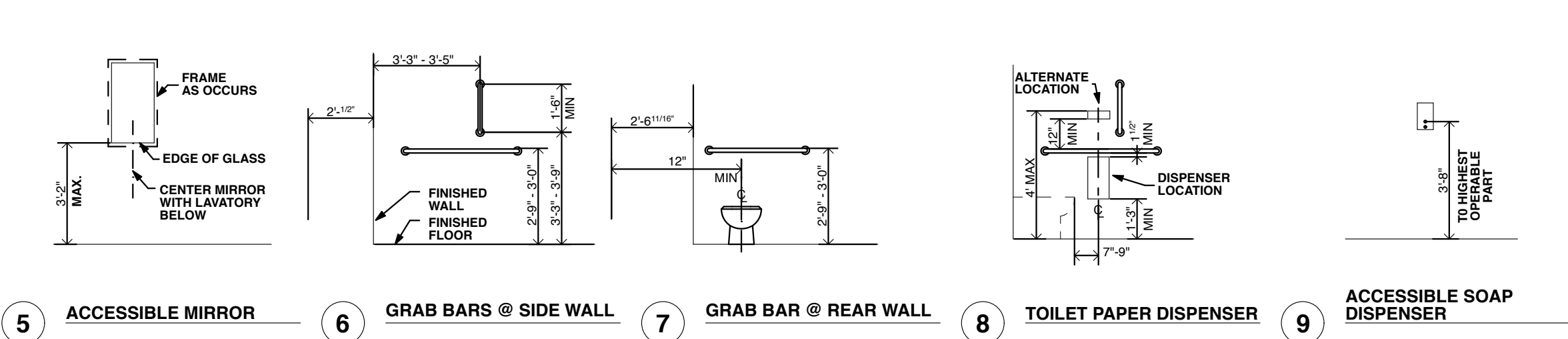
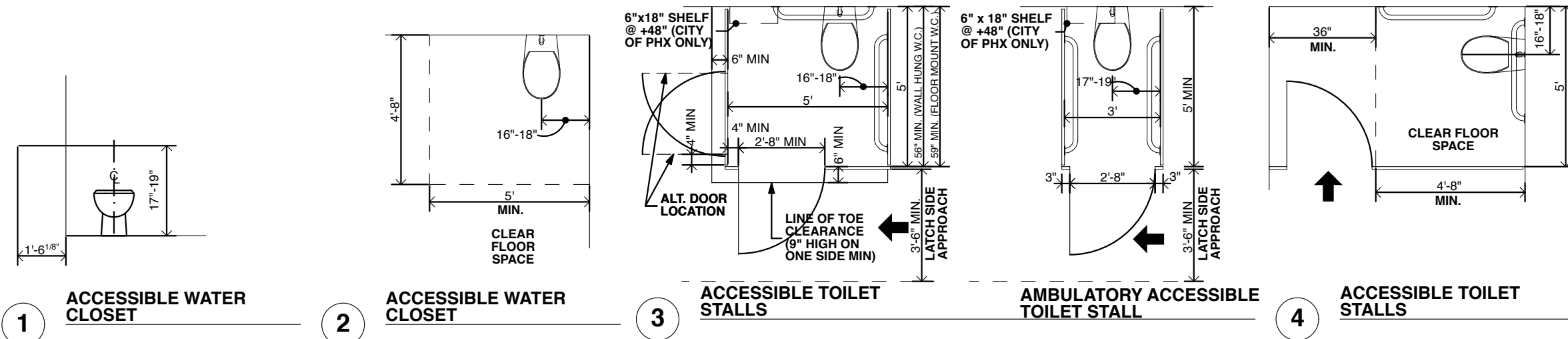
CHANGE OF OCCUPANCY
ANGIE LIBRARY
30245 Railroad Street
Angie, LA

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pa_2541
date of issue
02.18.2026
project phase
Construction Document
revision no. revision date

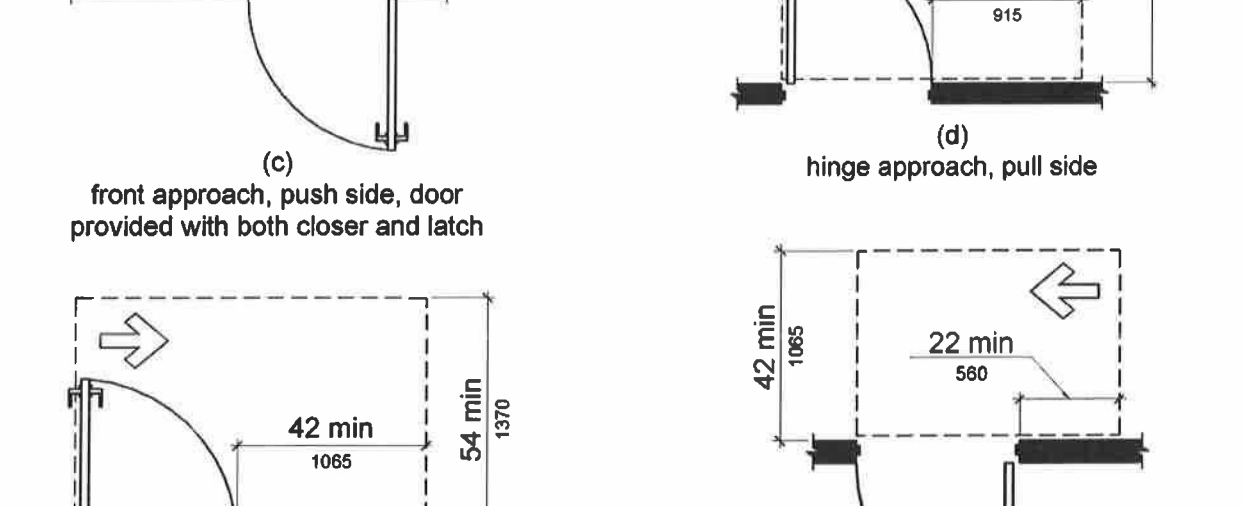
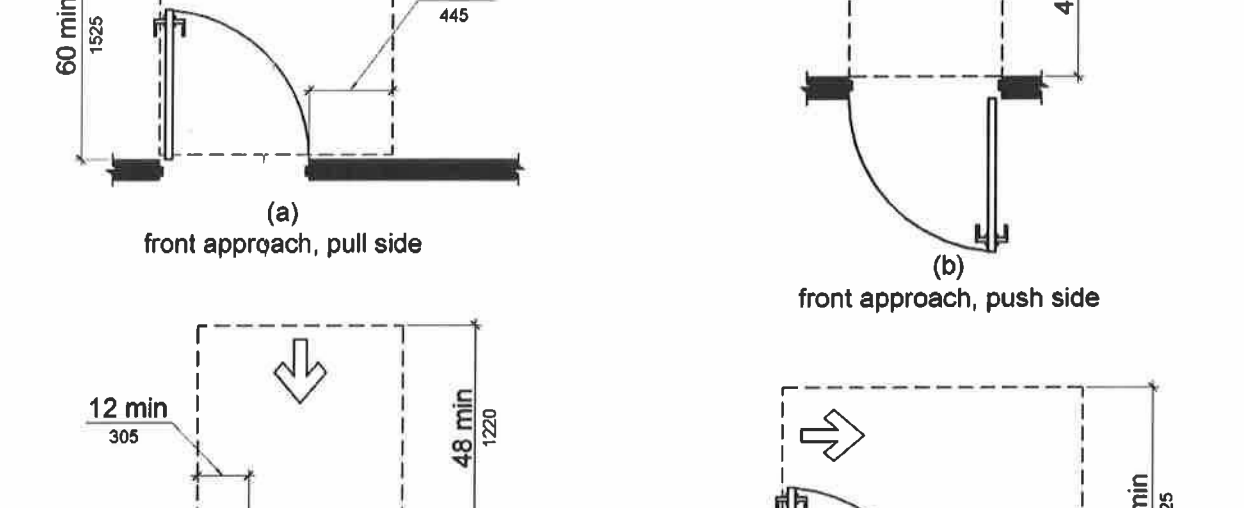
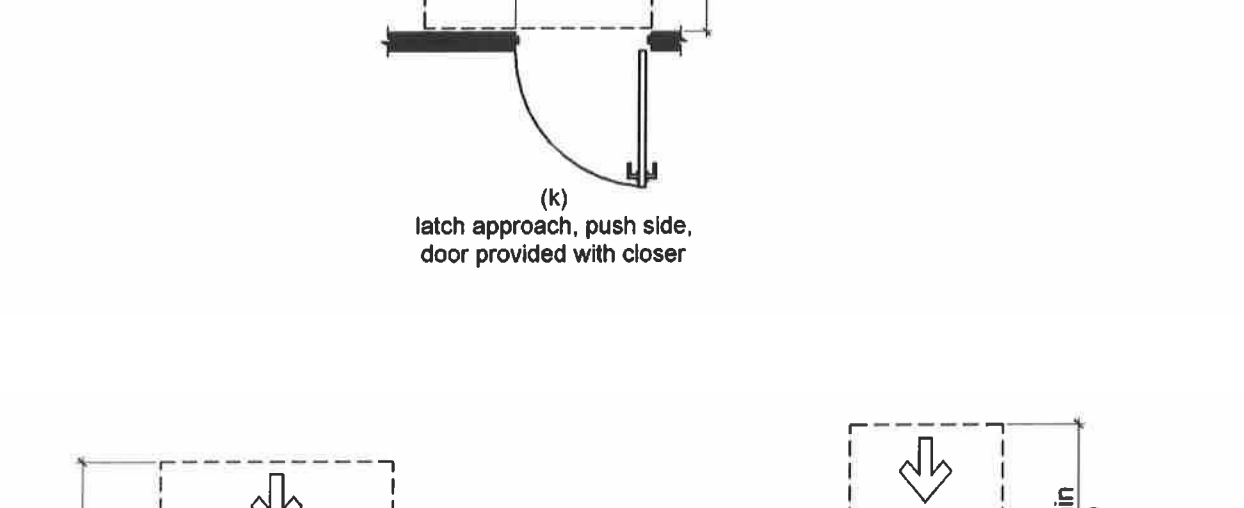
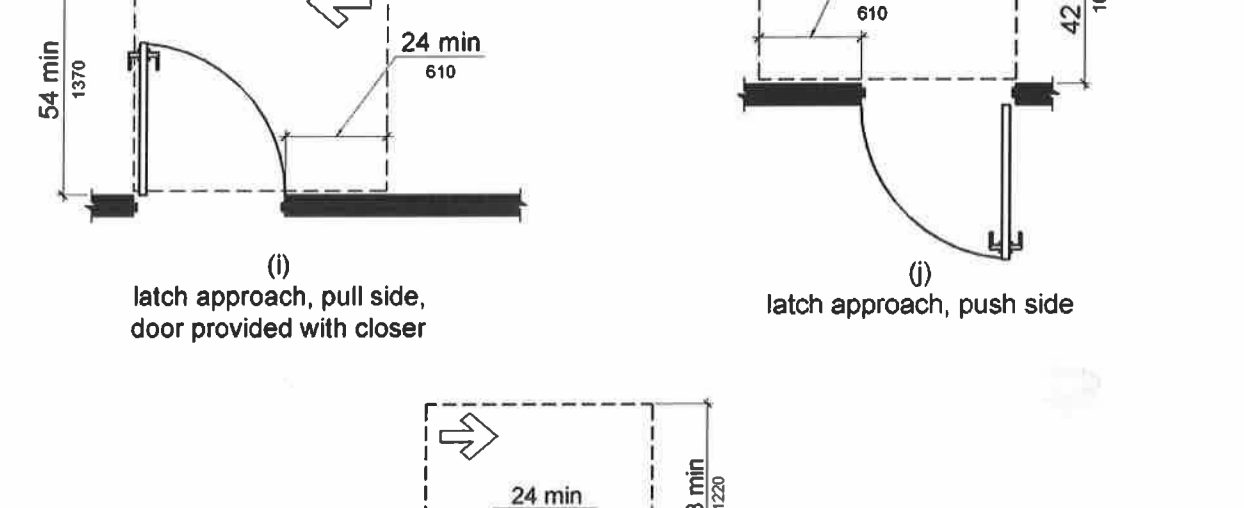
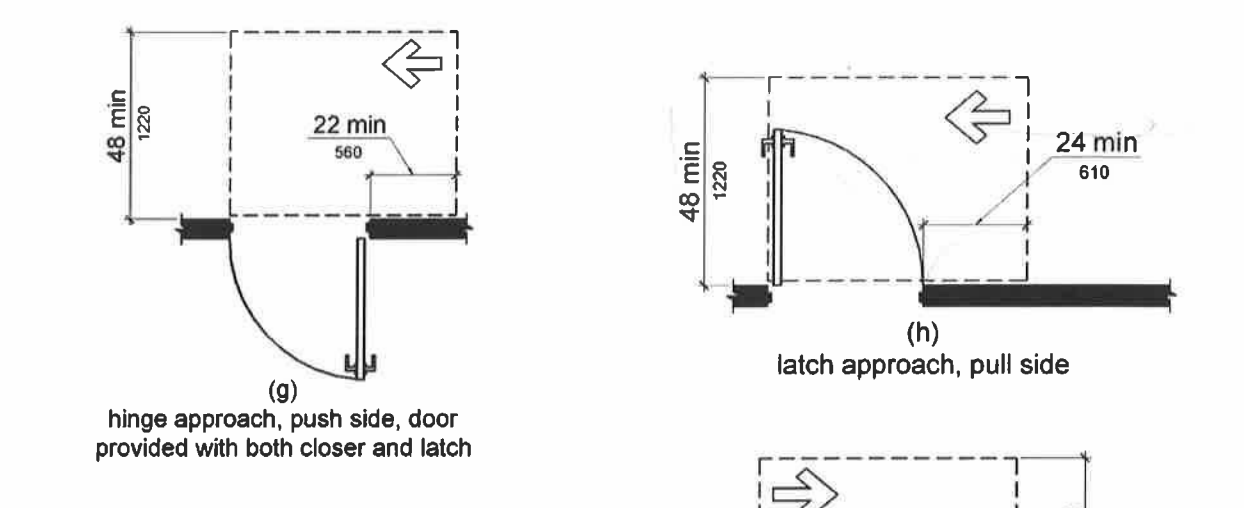
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Tom
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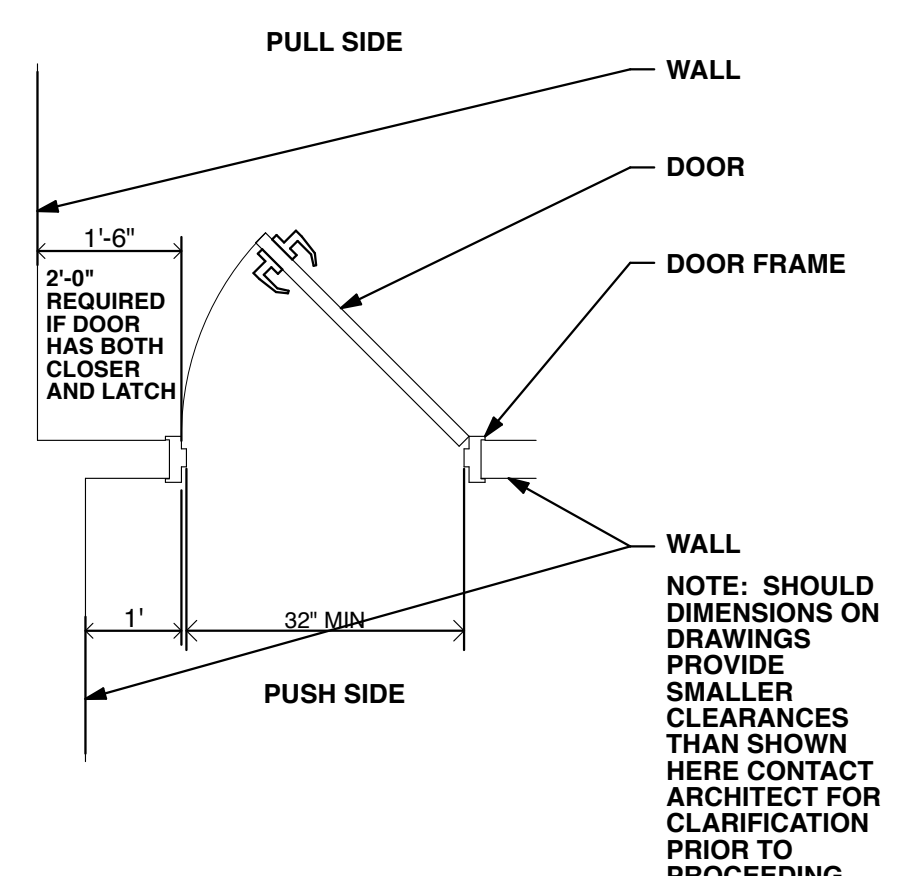
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GENERAL NOTES
drawing no.
G-001



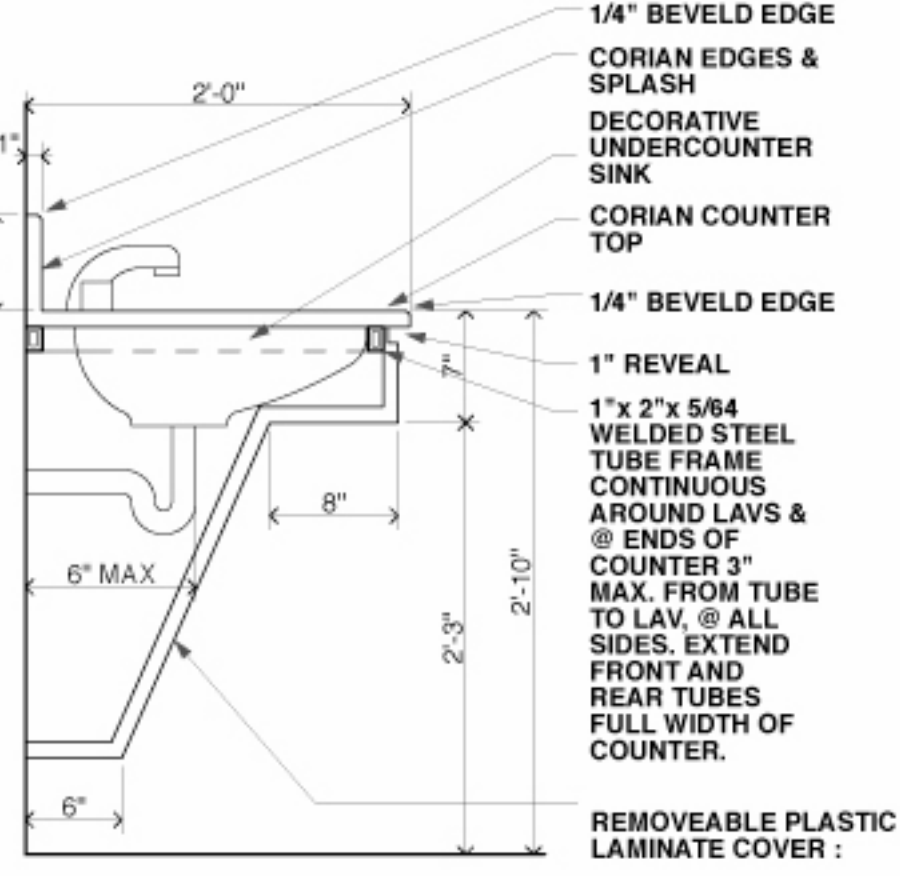
STANDARD MOUNTING HEIGHTS



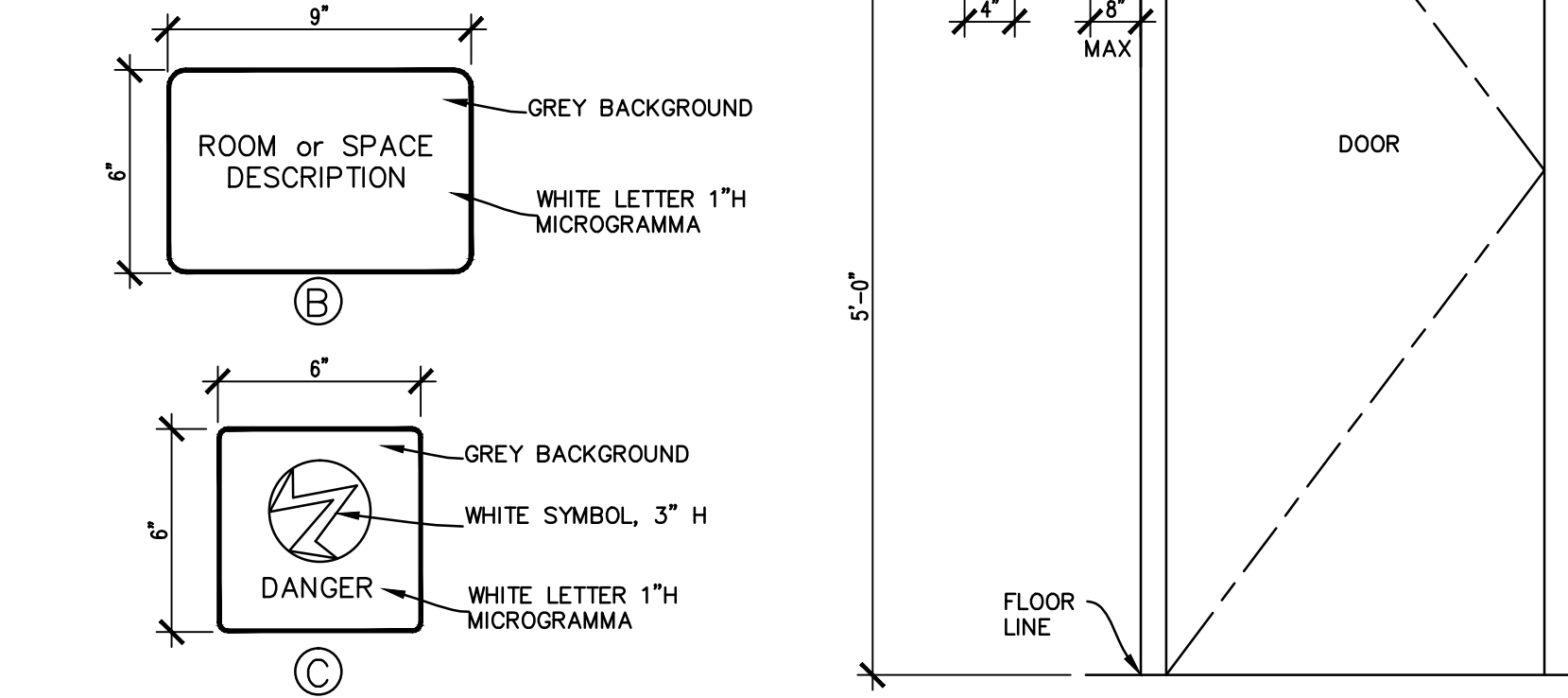
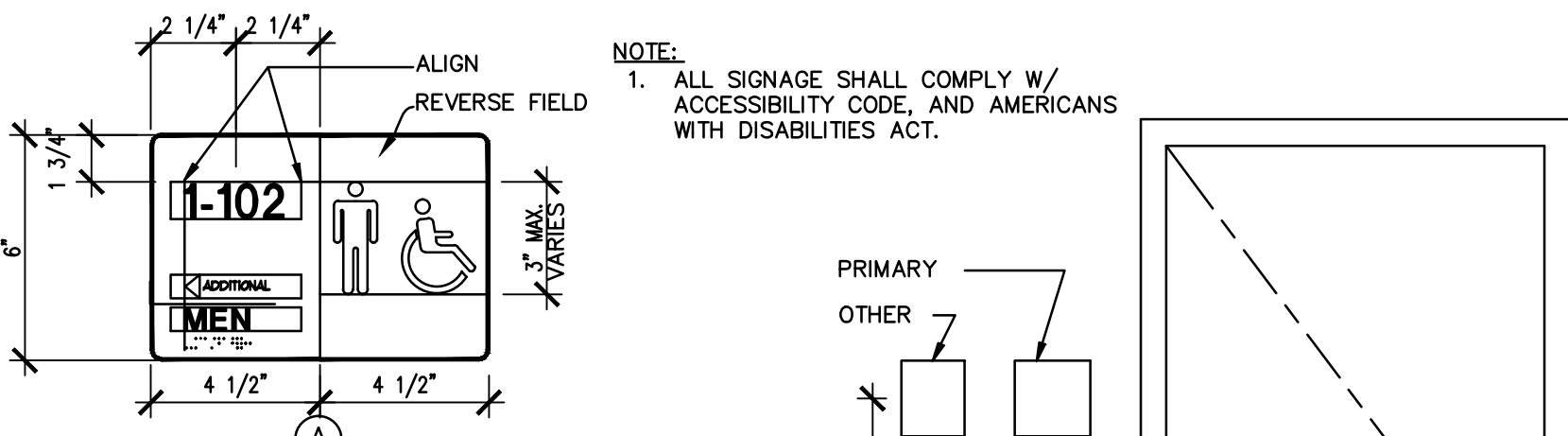
DOOR CLEARANCES



DOOR CLEARANCES FOR ACCESSIBILITY



WALL HUNG LAVATORY FOR ACCESSIBILITY



TYPICAL HANDICAPPED SIGNAGE

CHANGE OF OCCUPANCY
ANGIE LIBRARY
 30245 Railroad Street
 Angie, LA

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drawing title
ADA MOUNTING HEIGHT
 drawing no.
G-002



pistoriusassociates, llc
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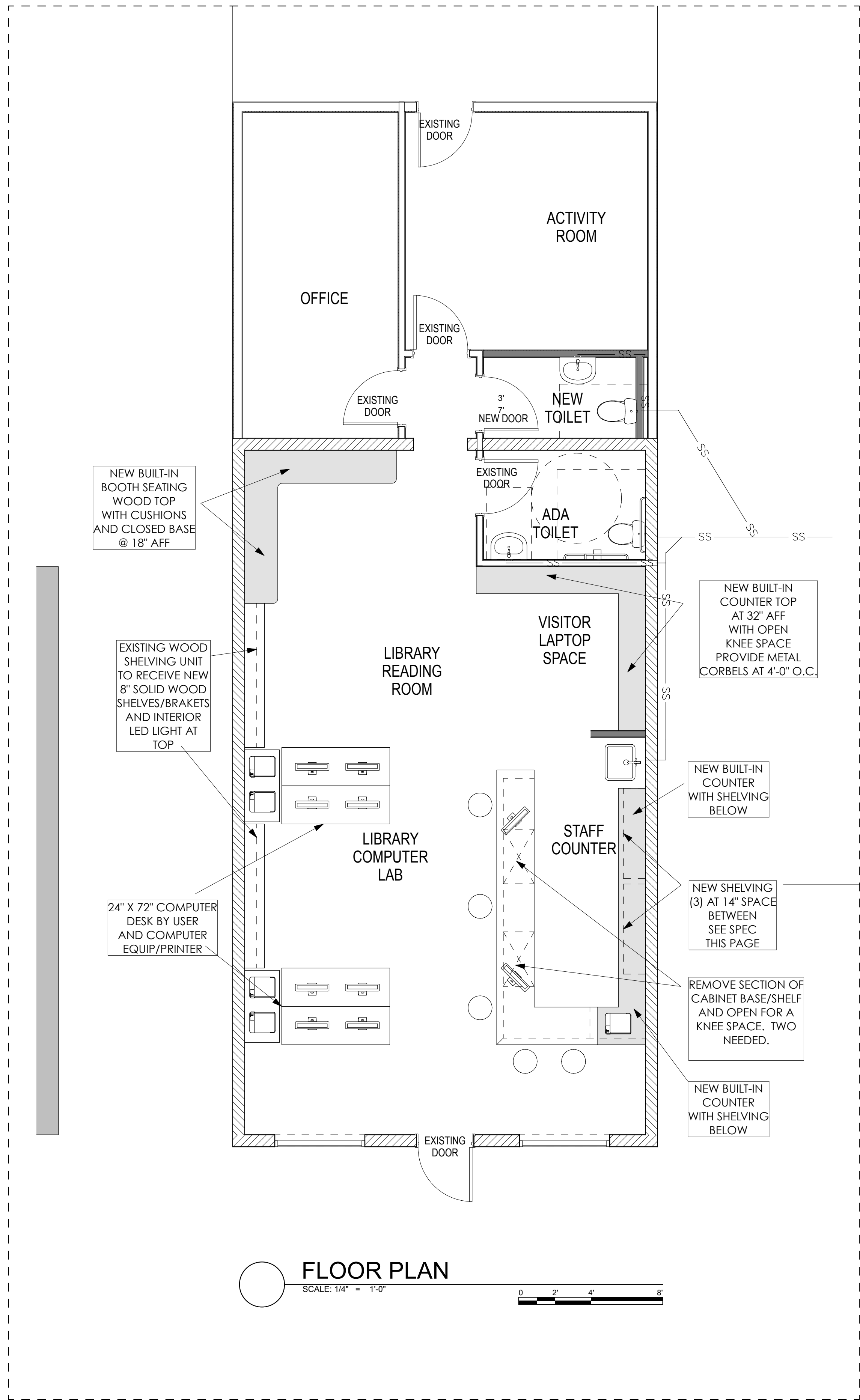
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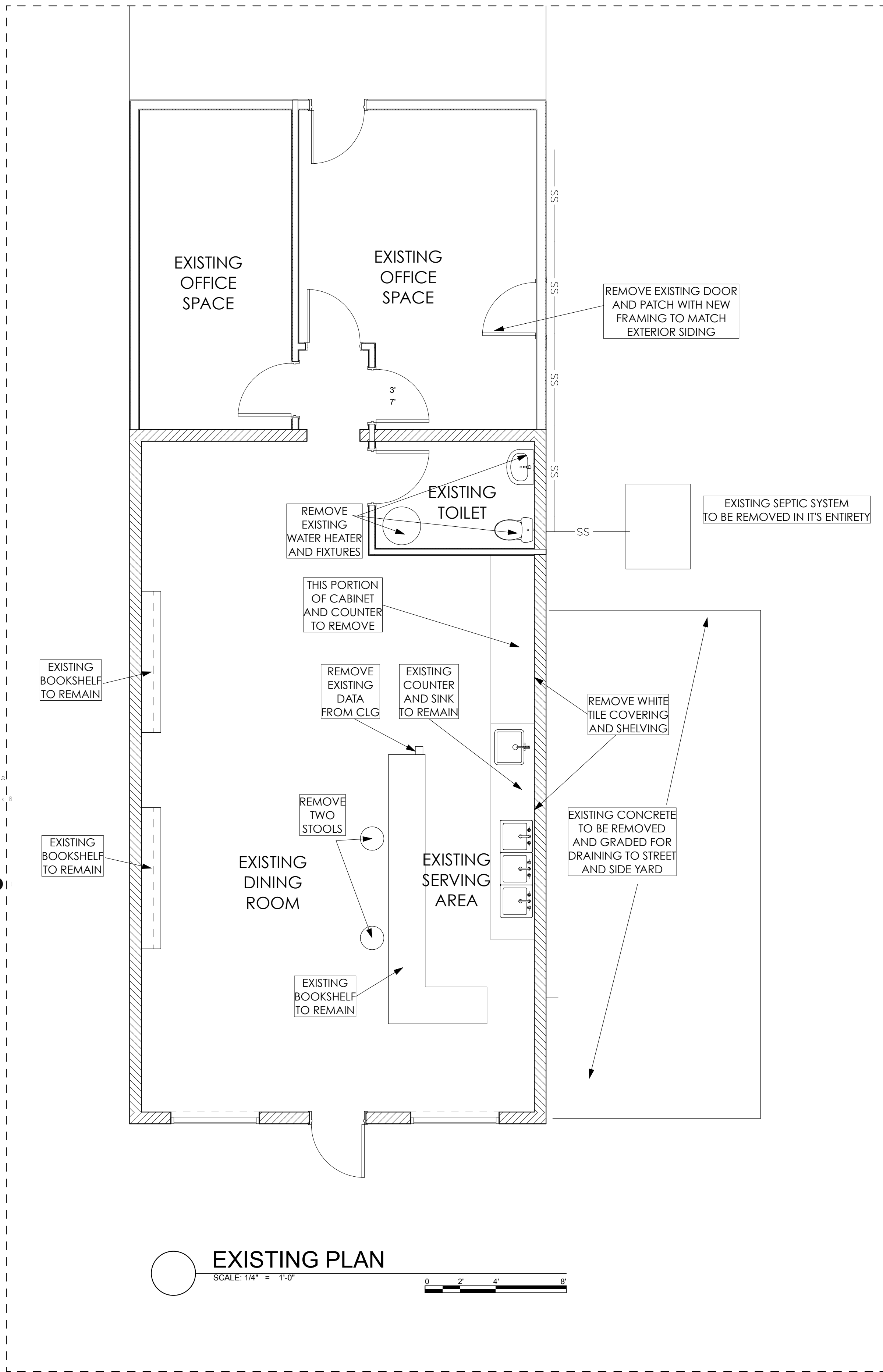
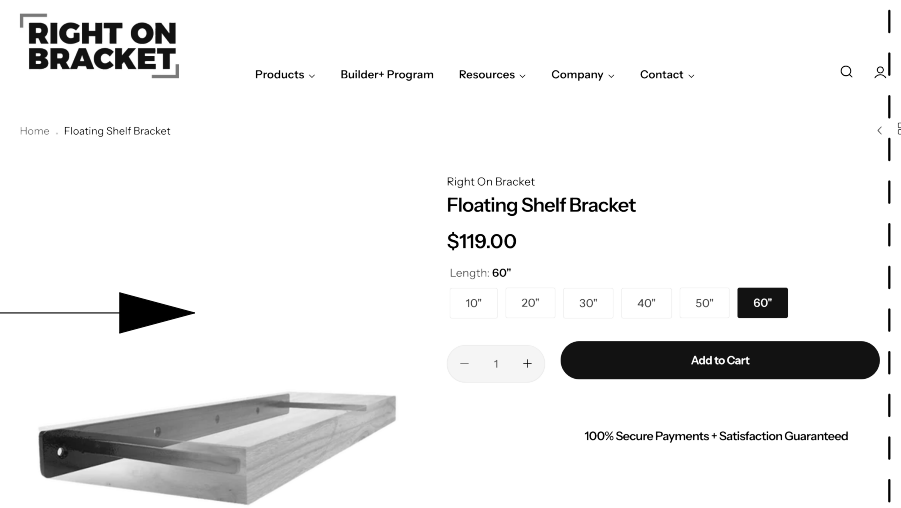


drawing title
EXISTING PLAN/FLOOR P
drawing no.
A-101



FLOOR PLAN LEGEND:

- WATER HEATER
 - FLOOR DRAIN
 - EXISTING ELECTRICAL SERVICE ENTRANCE SECTION AND METER
 - EXISTING DOMESTIC WATER ENTRY
 - FIRE EXTINGUISHER
 - ADA TOILET WITH GRAB BARS
 - VANITY
 - DOOR NUMBER - SEE SCHEDULE
 - WINDOW TYPE - SEE SCHEDULE
 - ROOM NAME AND NUMBER
 - WALL TYPE
 - EXISTING 2 HR RATED WALL WITH 60 MIN RATED DOOR AND 45 MIN RATED FRAME
- ALL WALLS ARE 2 X 4 WOOD STUDS WITH TYPE "X" 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE**



CHANGE OF OCCUPANCY
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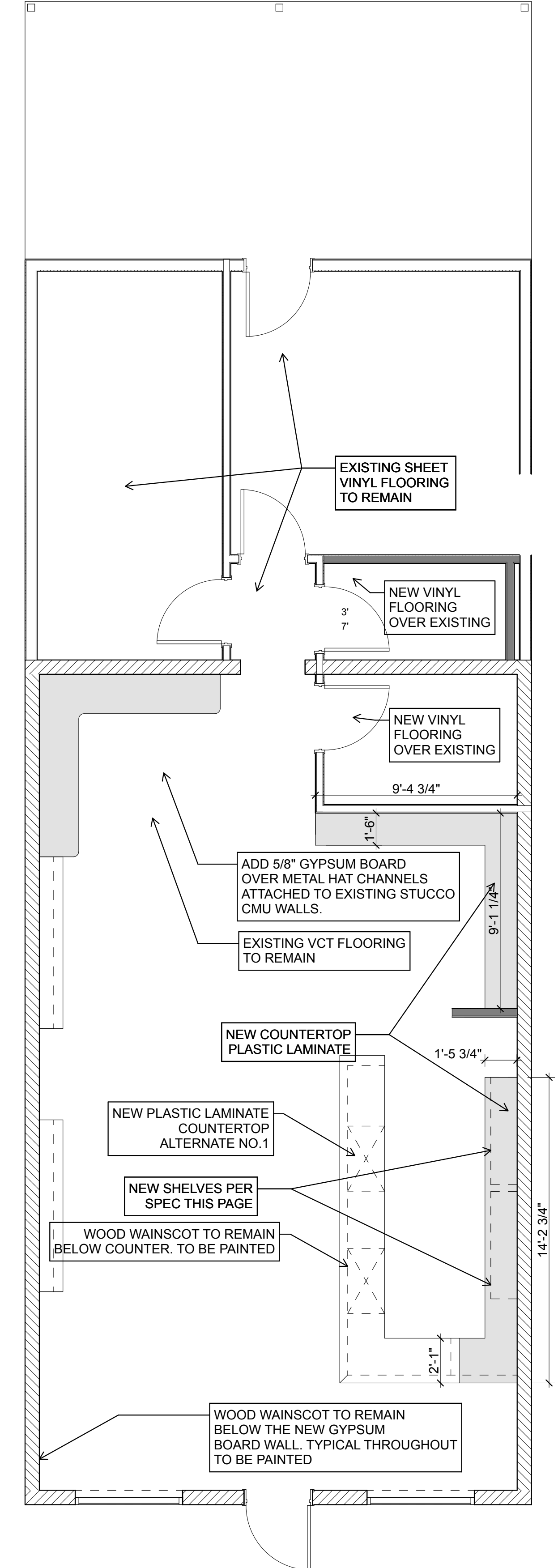
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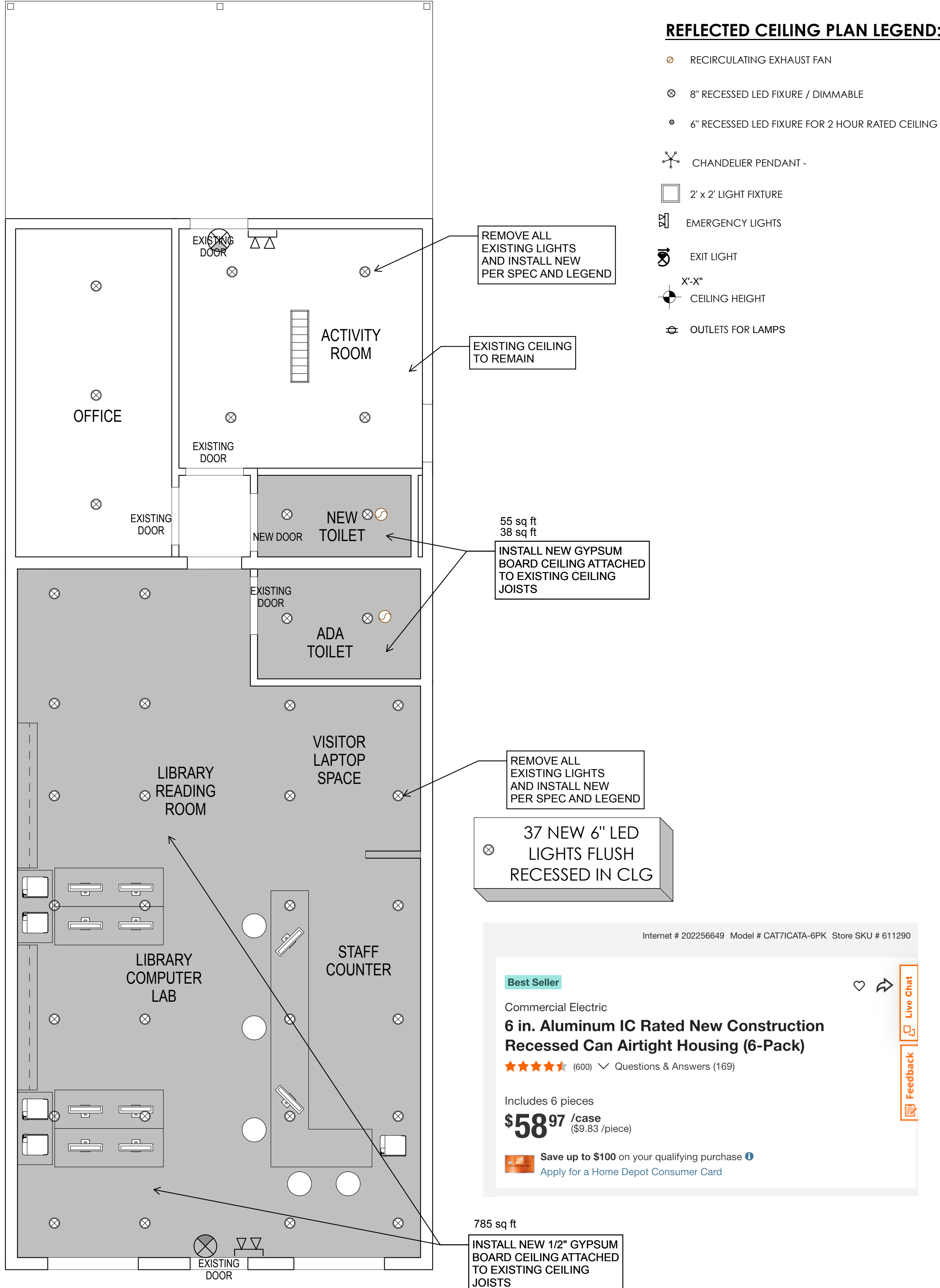


drawing title
FINISH/RCP/ELECTRICAL
drawing no.

A-102

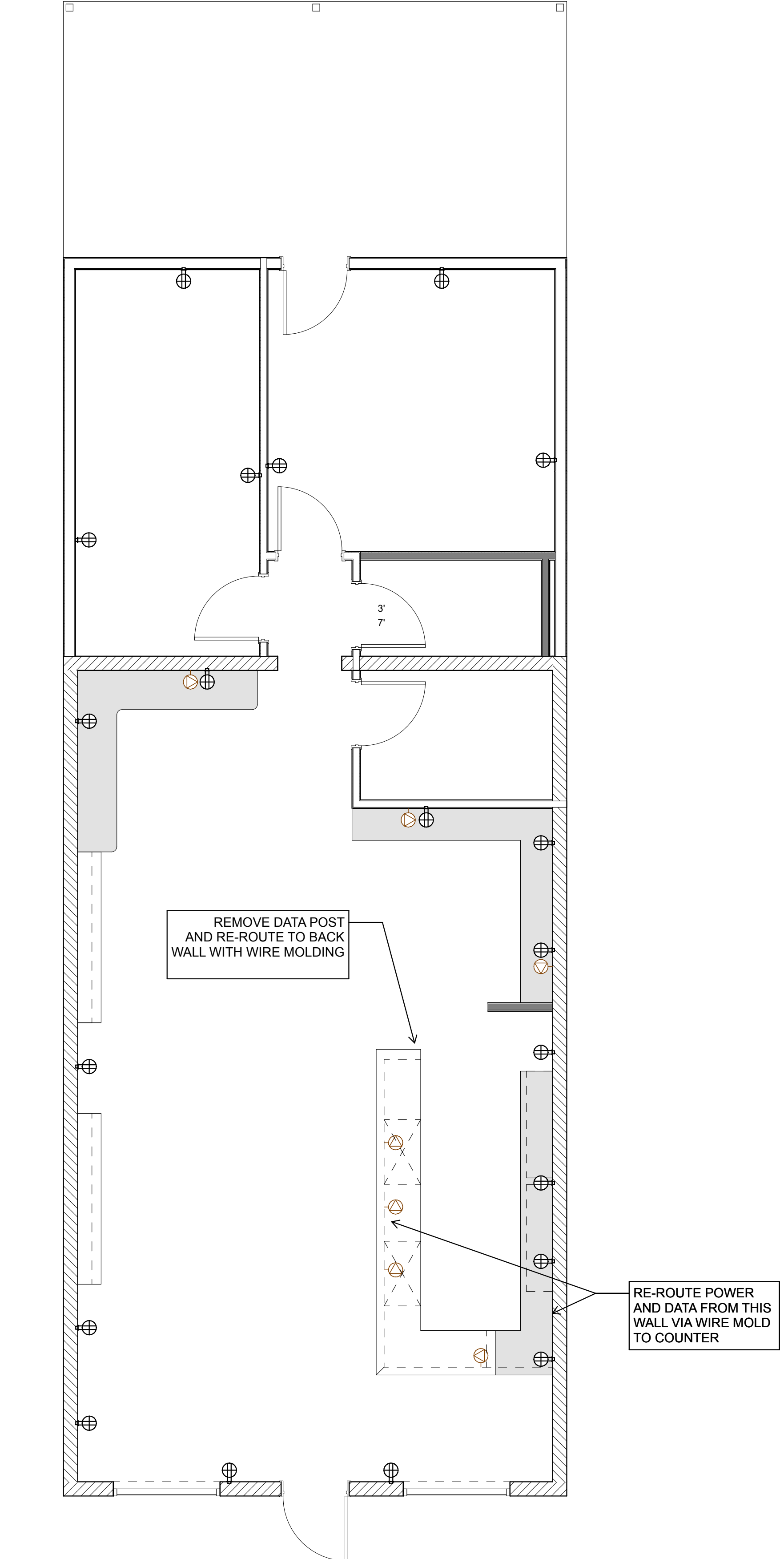
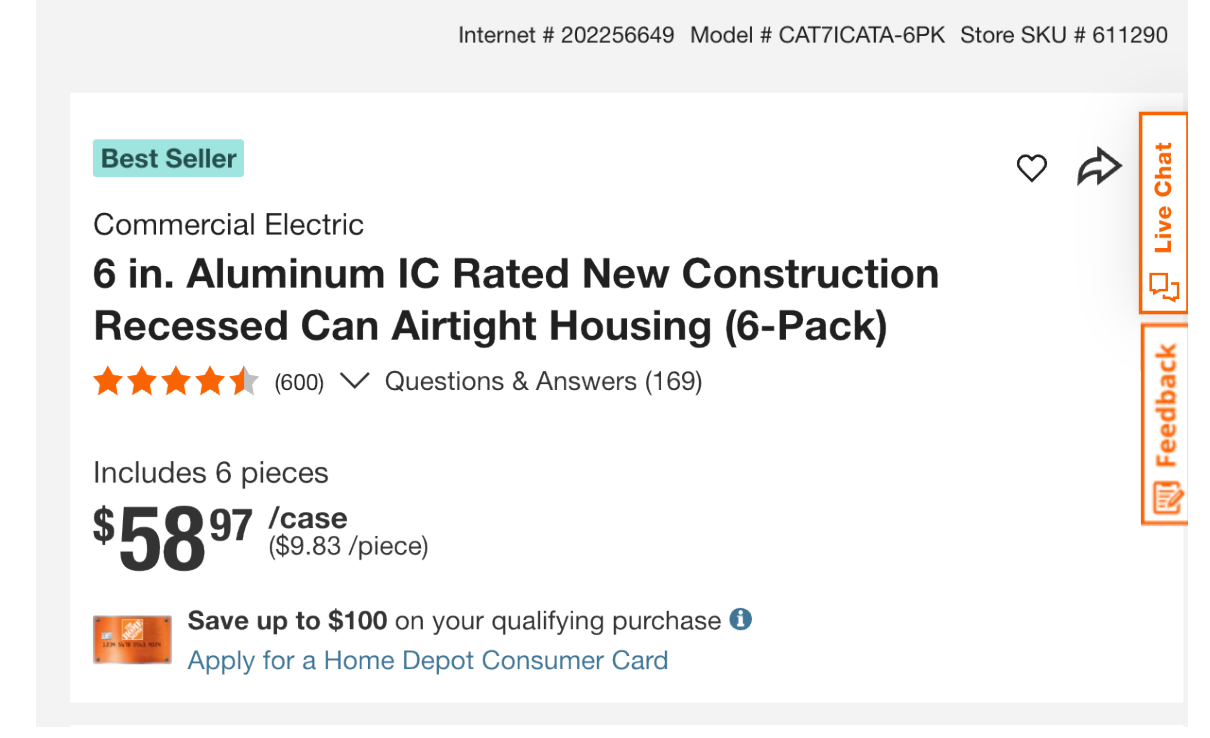


FINISH PLAN
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

NEW SHELVING BEHIND COUNTER



ALL ELECTRICAL OUTLETS ARE TO REMAIN AS INSTALLED AND WILL BE UTILIZED UNDER THE SAME LOADS AND PANEL TO REMAIN. ALL EXISTING FIRE ALARM AND SMOKE DETECTORS SHALL REMAIN AS INSTALLED TO BE INSPECTED YEARLY. HVAC IS TO REMAIN AS EXISTING IN WORKING CONDITION MEETING THE LOADS FOR ASSEMBLY AS A DINER.

ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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EXTERIOR PHOTOS NOTE
drawing no.
A-103



EXTERIOR SCOPE OF WORK

1. EXTEND CONCRETE RAMP TO THE SIDES IN PLACE OF THE TWO CONCRETE BENCHES AND TAPER AT A SLOPE OF 5%.
2. PREPARE EXISTING STUCCO IN FRONT FOR NEW COAT. PAINT AND SEAL.
3. PULL MATERIAL BACK FROM EXTERIOR WALL ON BOTH SIDES OF THE BUILDING AND RE-WORK THE GRADES SO THAT WATER FLOWS AWAY FROM THE EDGE OF BUILDING.
4. OPTION TO REMOVE EXISTING HARDIE BOARD AND ATTACH CEMENTITIOUS STUCCO METAL LATHE AND TWO COAT STUCCO SYSTEM TO MATCH FLUSH WITH ADJACENT SURFACE. PAINT AND SEAL
5. SEAL THE EXISTING METAL FLASHING AT THE PARAPET WALL AND METAL ROOFING. WATERPROOF AS REQUIRED TO MAINTAIN TIGHTNESS AND MOISTURE RESISTENCE.



PROVIDE SIMPSON H5 CLIPS AT EACH RAFTER TO HEADER/BEAM

PROVIDE BASE PLATE INTO SLAB, WITH 1 INCH SPACE BETWEEN SLAB AND BOTTOM OF POST



DIGEST

The digest printed below was prepared by House Legislative Services. It constitutes no part of the legislative instrument. The keyword, one-liner, abstract, and digest do not constitute part of the law or proof or indicia of legislative intent. [R.S. 1:13(B) and 24:177(E)]

HB 627 Original

2026 Regular Session

Knox

Abstract: Provides for the video recording and live broadcast of public meetings held by a public entity created by law.

Present law (R.S. 42:23) provides that all proceedings in a public meeting may be video taped, audio taped, or broadcast live. Provides that each nonelected board or commission that has the authority to levy a tax shall video or audio record, film, or broadcast live all proceedings in a public meeting. Provides that the parish governing authority in a parish with a population of 25,000 or more shall broadcast live all of its proceedings in public meetings, including the parish governing authority's committee meetings. Provides that each school board in a parish with a population of 25,000 or more shall broadcast live all of its proceedings in public meetings, including the school board's committee meetings. Provides that each governing authority of a municipality with a population of 10,000 or more shall broadcast live all city council meetings including city council committee meetings and further provides there is no requirement to broadcast a committee meeting where members are volunteers. Provides that the failure of a public body to broadcast live as required by present law due to a technological failure beyond the control of the public body or beyond its ability to resolve timely is not a violation of present law.

Present law does not apply to executive session. Provides that a public body shall establish standards for the use of lighting, recording, or broadcasting equipment to ensure proper decorum in a public meeting.

Proposed law retains present law and requires each public entity created by law to video record and broadcast live all proceedings in a public meeting.

(Amends R.S. 42:23(B)(1) and (2)(b), (c), and (d))

2026 Regular Session

HOUSE BILL NO. 627

BY REPRESENTATIVE KNOX

PUBLIC MEETINGS: Provides relative to live-stream video and recording of the public meetings of entities created by law

1 AN ACT

2 To amend and reenact R.S. 42:23(B)(1) and (2)(b), (c), and (d), relative to public meetings;
3 to provide for the video recording and live broadcast of public meetings; to require
4 each public entity created by law to video record and broadcast live all proceedings
5 in a public meeting; and to provide for related matters.

6 Be it enacted by the Legislature of Louisiana:

7 Section 1. R.S. 42:23(B)(1) and (2)(b), (c), and (d) are hereby amended and
8 reenacted to read as follows:

9 §23. Audio and video recordings; live broadcast

10 * * *

11 B.(1)(a) Each nonelected board or commission that has the authority to levy
12 a tax shall video or audio record, film, or broadcast live all proceedings in a public
13 meeting.

14 (b) Each public entity created by law shall video record and broadcast live
15 all proceedings in a public meeting.

16 (2)

17 * * *

18 (b) For purposes of this ~~Paragraph~~ Subsection, "broadcast live" means the
19 publicly available distribution of audio and video of a meeting in real or near real
20 time via the internet or television broadcast.

1 (c) The failure of a public body to broadcast live as required by this
2 ~~Paragraph~~ Subsection due to a technological failure beyond the control of the public
3 body or beyond its ability to resolve timely is not a violation of the provisions of this
4 Chapter.

5 (d) The requirement in this ~~Paragraph~~ Subsection for a public body to
6 broadcast its meetings does not apply to any executive session held in accordance
7 with this Chapter.

8 * * *

DIGEST

The digest printed below was prepared by House Legislative Services. It constitutes no part of the legislative instrument. The keyword, one-liner, abstract, and digest do not constitute part of the law or proof or indicia of legislative intent. [R.S. 1:13(B) and 24:177(E)]

HB 627 Original

2026 Regular Session

Knox

Abstract: Provides for the video recording and live broadcast of public meetings held by a public entity created by law.

Present law (R.S. 42:23) provides that all proceedings in a public meeting may be video taped, audio taped, or broadcast live. Provides that each nonelected board or commission that has the authority to levy a tax shall video or audio record, film, or broadcast live all proceedings in a public meeting. Provides that the parish governing authority in a parish with a population of 25,000 or more shall broadcast live all of its proceedings in public meetings, including the parish governing authority's committee meetings. Provides that each school board in a parish with a population of 25,000 or more shall broadcast live all of its proceedings in public meetings, including the school board's committee meetings. Provides that each governing authority of a municipality with a population of 10,000 or more shall broadcast live all city council meetings including city council committee meetings and further provides there is no requirement to broadcast a committee meeting where members are volunteers. Provides that the failure of a public body to broadcast live as required by present law due to a technological failure beyond the control of the public body or beyond its ability to resolve timely is not a violation of present law.

Present law does not apply to executive session. Provides that a public body shall establish standards for the use of lighting, recording, or broadcasting equipment to ensure proper decorum in a public meeting.

Proposed law retains present law and requires each public entity created by law to video record and broadcast live all proceedings in a public meeting.

(Amends R.S. 42:23(B)(1) and (2)(b), (c), and (d))